

NEW TOWNHOUSES FOR:
DANIA OAKS TOWNHOMES

5461 SW 40TH AVENUE
DANIA, FLORIDA

DRAWING INDEX

ARCHITECTURAL	CIVIL
A0.1 LOCATION MAP	C1 GRADING AND DRAINAGE PLAN
A1.0 SITE PLAN	C2 WATER AND SEWER PLAN
A1.1 SITE PLAN DETAILS	C3 SIGNING AND MARKING PLAN
A1.2 SITE COLOR	C4 OFF SITE SEWER PLAN
A2.0 FIRST FLOOR PLAN SINGLE FAMILY HOME	C5 SITE DETAILS
A2.1 SECOND FLOOR PLAN- SINGLE FAMILY HOME	C6 WATER DETAILS
A2.2 ROOF PLAN SINGLE FAMILY HOME	C7 WATER AND SEWER DETAIL
A2.3 ENLARGED FLOOR PLANS-UNIT A	LANDSCAPE
A2.4 ENLARGED FLOOR PLANS-UNIT B	LD-1 TREE DISPOSITION PLAN
A3.0 TYPICAL ELEVATIONS	L-1 LANDSCAPE DRAWING
A3.1 TYPICAL ELEVATIONS	IRRIGATION
A3.2 TYPICAL ELEVATIONS	IR-01 IRRIGATION PLAN
A3.3 ELEVATIONS COLOR	IR-02 IRRIGATION DETAILS
A4.1 SECTIONS UNIT A	SURVEY
A4.2 SECTIONS UNIT B	SURVEY
CA.1 COLOR AREAS	

PHOTOMETRIC
PH0.1 PHOTOMETRIC PLAN

PROJECT TEAM

ARCHITECT OF RECORD:
SKLARchitecture

2810 HOLLYWOOD BLVD.
HOLLYWOOD, FL 33020
www.sklararchitecture.com
TEL - (954) 925-9292
FAX - (954) 925-9292

AA 0002849
IB 0000894
NCARB CERTIFIED

CIVIL ENGINEER:
GATOR ENGINEERING ASSOCIATES Inc.
Regina Bobo-Jackson, P.E.
11990 Temple Street
Cooper City, FL 33330
Office: 954.434.5905
Fax: 954.434.5904

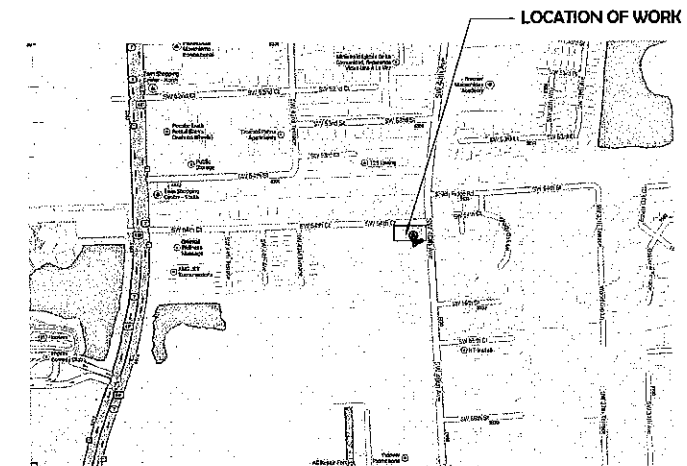
MEP ENGINEER:
DELTA G. CONSULTING ENGINEERS.
George San Juan, PE, LEED AP | President
707 NE 3rd Ave, Suite 200 | Ft. Lauderdale, FL 33304
Tel: 954.527.812 Ext.16 | Fax: 954.524.7505 | Website:
www.DeltaG.net

LANDSCAPE ARCHITECT:
KIMBERLY MOYER, RLA
LANDSCAPE ARCHITECTURE
(954) 492-9609

PROJECT RENDERING



LOCATION MAP



SCALE N.T.S.

LEGAL DESCRIPTION

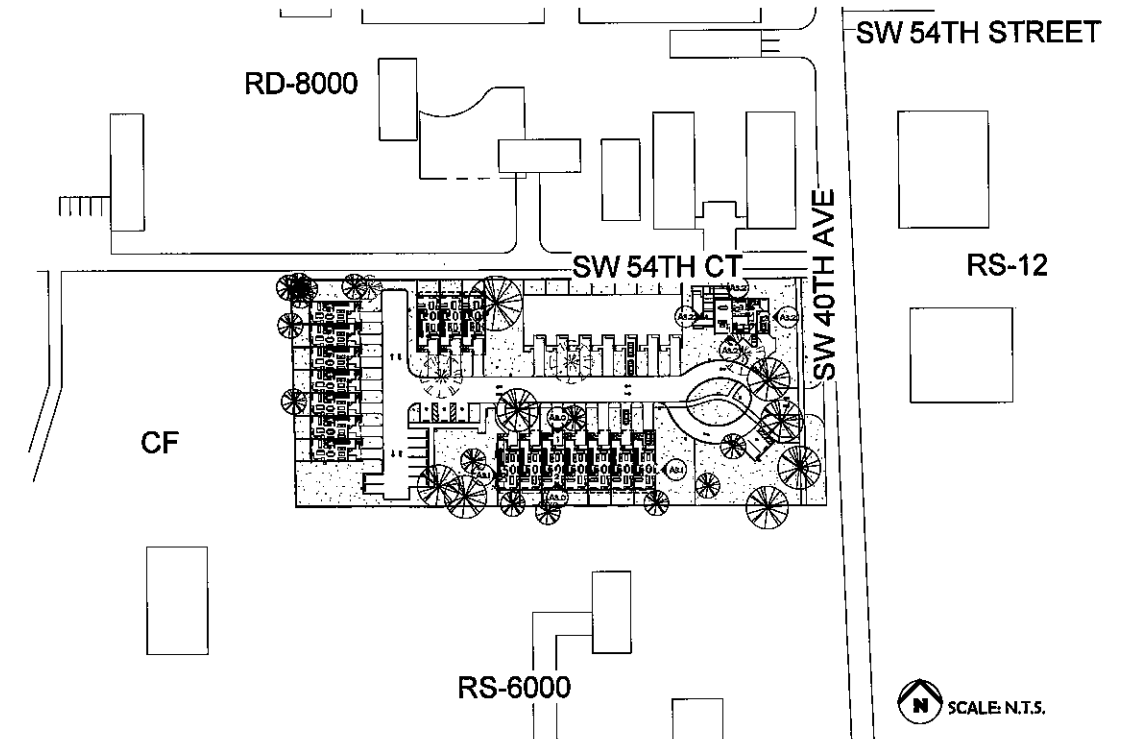
PARCEL "A"
A Parcel described as the South 99.00 feet of the North 437.03 feet of the West 703.50 feet of the East 279.50 feet of TRACT 9, "NEWMANS SURVEY" OF SECTION 36, TOWNSHIP 50 SOUTH, RANGE 47 EAST, as recorded in Plat Book 2, Page 26, of the Public Records of Miami-Dade County, Florida, LESS the South 3.00 feet of the East 703.72 thereof.

PARCEL "B"
A Parcel of Tract 9, Section 36, Township 50 South, Range 47 East, Broward County, Florida, and more particularly described as follows: The South 777.52 feet of the North 544.55 feet of the West 322.55 feet of the East 357.55 feet of TRACT 9, "NEWMANS SURVEY" OF SECTION 36, TOWNSHIP 50 SOUTH, RANGE 47 EAST, as recorded in Plat Book 2, Page 26, of the Public Records of Miami-Dade County, Florida;

EXCEPT THE FOLLOWING:
Commencing at the most Northeasterly corner of the South 717.52 feet of the North 544.55 feet of the West 322.55 feet of the East 357.55 feet of TRACT 9, "NEWMANS SURVEY" OF SECTION 36, TOWNSHIP 50 SOUTH, RANGE 47 EAST, as recorded in Plat Book 2, Page 26, of the Public Records of Miami-Dade County, Florida; Thence South 87°49'49" West for a distance of 703.72 feet to the Point of Beginning; Thence South 03°03'39" East, a distance of 4.00 feet to the Point of Beginning; Thence South 87°49'48" West, a distance of 80.78 feet; Thence North 03°03'39" West, a distance of 4.00 feet; Thence North 87°49'48" East, a distance of 80.78 feet to the Point of Beginning

PARCEL "C"
The South 272.52 feet of the North 544.55 feet of the West 293.05 feet of the East 357.55 feet of TRACT 9, "NEWMANS SURVEY" OF SECTION 36, TOWNSHIP 50 SOUTH, RANGE 47 EAST, according to the Plat thereof, as recorded in Plat Book 2, Page 26, of the Public Records of Miami-Dade County, Florida, LESS the South 10.52 feet of the East 138.05 thereof. Said lands situate, lying and being in Broward County, Florida.

KEY PLAN



SCALE N.T.S.

CODE ANALYSIS / PROJECT DATA

PLANS SHALL COMPLY WITH THE FOLLOWING:

FLORIDA BUILDING CODE (2007)
FPC/NFPA 901 2000 ED.
NFPA 101 2010 IBC
NFPA 101 2000 ED.

NEW FORMERLY-RESIDENTIAL (ONE-FAMILY)
NEW CONCRETE STRUCTURE
TYPE VA CONSTRUCTION
FIRE SPRINKLED

GROUP	TYPE	ALLOWED		PROVIDED	
		HGT	AREA (SQ. FT.)	HGT	AREA (SQ. FT.)
R-3	VA	30 FT (3 STORS)	6000 PER STORY	32'-0" FT (3 STORS)	7,500 (3 STORS)

FIRE RESISTANCE RATING REQUIREMENTS FOR BLDG ELEMENT (TABLE 603)

TYPE VA	1 HR
STRUCTURAL FRAME	1 HR
SEPARATING WALLS (EXT. INT)	1 EXT/0 INT HR
NONSEPARATING WALLS & PARTITIONS	0 HR
FLOOR CONSTRUCTION	1 HR
ROOF CONSTRUCTION	1 HR

REQUIRES SEPARATION OF OCCUPANCIES
REQUIRES SEPARATION BETWEEN 2-FAMILY DWELLING
REQUIRES SEPARATION BETWEEN DWELLING UNITS
TOWNHOUSE FIRE SEPARATION

R/R = 0 HR (TABLE 604.4 FBC)
-0 HR (NFPA 901.4.2)
-0 HR (NFPA 901.4.2)
-0 HR (NFPA 901.4.2)
-0 HR (NFPA 901.4.2)

TOWNHOUSE FIRE SEPARATION PROVIDED: 2 HOURS (SEE PLANS AND SECTIONS)
SEPARATION BETWEEN DWELLING UNITS PROVIDED: 1 HR (SEE PLANS AND SECTIONS)

PROJECT NOTES:

1. PROVIDE SHOP DRAWINGS FOR ARCHITECT APPROVAL.
2. PROVIDE PITCH PANS TO SEAL ALL NEW ROOF PENETRATIONS.
3. ALL UNITS SHALL BE SCREENED BY MECHANICAL DRAINAGE FOR AC UNIT RACK ATTACHMENT.
4. THE ROOF SHALL NOT BE HABITABLE OR USED FOR RECREATION PURPOSES.
5. ALL EXTERIOR LADDERS FOR ROOF ACCESS SHALL BE FOLDABLE, CONCEALED AND INSTALLED IN A UNIFORM MANNER.
6. THE DEVELOPMENT WILL NOT BE GATED.
7. SIGNAGE NOT INCLUDED IN THIS APPLICATION.

PROJECT REQUESTS:

- PLATTING
- ZONING
- FLOOD RESERVE UNITS
- SITE PLAN APPROVAL
- SETBACK REDUCTION REQUEST

A0.0

PROJECT # 12-002

DATE: 07-25-14



SKLARchitecture
 280 HOLLYWOOD BLVD
 HOLLYWOOD, FL 33021
 TEL: (954) 928-1222
 FAX: (954) 928-0282
 WWW.SKLARARCHITECTURE.COM

SEAL
 APRIL SKLAR
 LICENSE #848478

REVISIONS
 2. 06-20-14 SP REVIEW COMMENTS

NEW TOWNHOUSE FOR
DANIA OAKS TOWNHOMES
 548 SW 40TH AVENUE

- REVIEW SET
- PRELIMINARY
- NOT FOR CONSTRUCTION
- DRVLIN PERMIT SET
- PERMIT SET
- BID SET
- CONSTRUCTION SET

SUBMITTAL DATE: 04-24-2014

DRAWN BY:
 Author
 CHECKED BY:
 AIR SKLAR

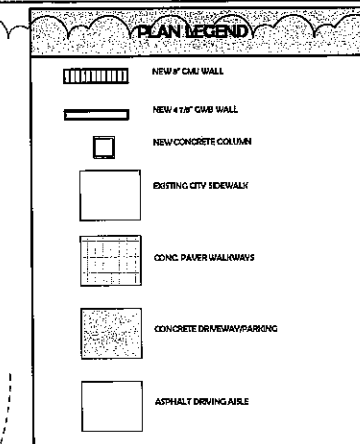
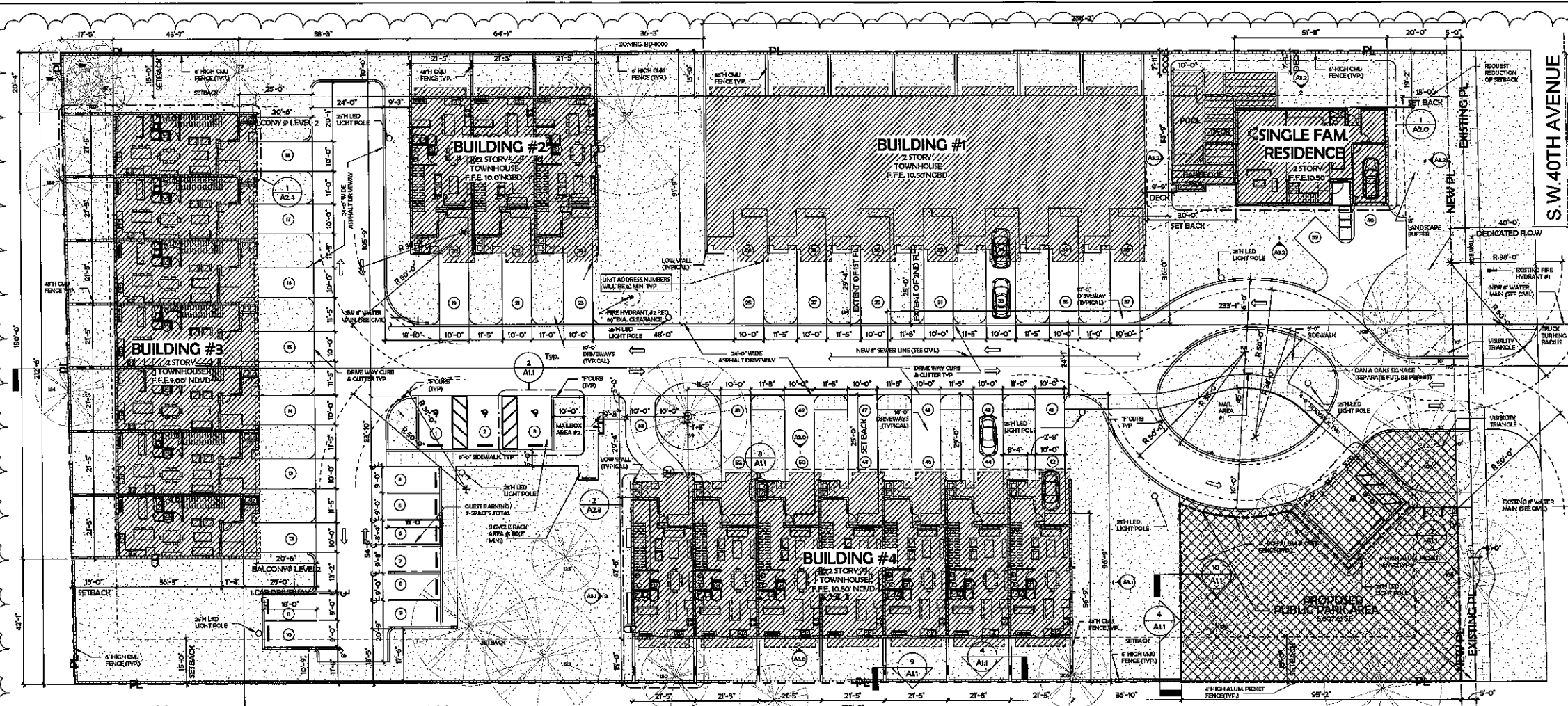
LOCATION MAP

A0.1

PROJECT #: 12-002

DATE: 07-29-14

1 LOCATION MAP
 12" x 14"

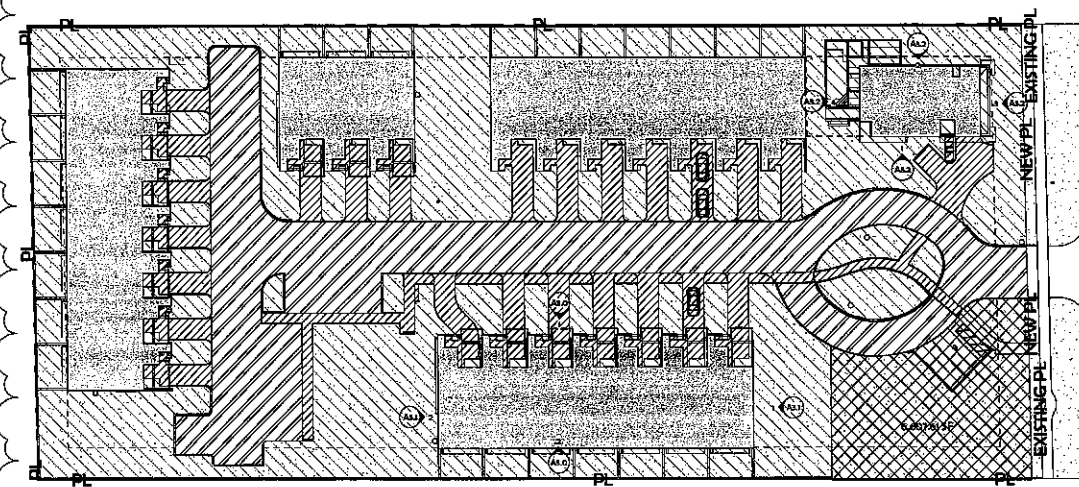


- PROJECT NOTES:**
1. PROVIDE SHOP DRAWINGS FOR ARCHITECT APPROVAL.
 2. PROVIDE PITCH PANS TO SEAL ALL NEW ROOF PENETRATIONS.
 3. ALL UNITS SHALL BE SCREENED SEE MECHANICAL DRAWINGS FOR A/C UNIT BACK ATTACHMENT.
 4. THE ROOF WILL NOT BE HABITABLE OR USED FOR RECREATION PURPOSES.
 5. ALL EXTERNAL LADDERS FOR ROOF ACCESS SHALL BE FOLDABLE, CONCEALED AND INSTALLED IN A UN INCONSPICUOUS LOCATION (SEE SITE PLAN AND PAINTED TO MATCH THE BUILDINGS).
 6. THE DEVELOPMENT WILL NOT BE GATED.
 7. SIGNAGE NOT INCLUDED W/ THIS APPLICATION.

WILDLIFE PROTECTION NOTES:
 THE AVOIDANCE OF IMPACT TO THE SAFE CAPTURE AND RELOCATION OF ANY WILDLIFE SPECIES PROTECTED BY FEDERAL OR STATE LAW IN ACCORDANCE WITH RELEVANT PERMITS AND REGULATIONS SHALL BE PROVIDED.
 UPON REQUEST, A WRITTEN REPORT OF A QUALIFIED, INDEPENDENT, PRIVATE CONSULTANT, APPROVED BY THE CITY WHICH EVALUATES THE LAND AREAS EXISTING CONDITIONS, WILDLIFE POPULATIONS OF PROTECTED SPECIES BY NUMBERS AND TYPES AND PROPOSES A SPECIFIC ACTION PLAN FOR THE CONSERVATION WILL BE PROVIDED.
 UPON REQUEST, A PROOF OF PERMITS AND COORDINATION WITH FEDERAL, STATE AND COUNTY ENVIRONMENTAL REGULATORY AGENCIES WILL BE PROVIDED.

- PROJECT REQUESTS:**
- PLATTING
 - RE ZONING
 - FLEX RESERVE UNITS
 - SITE PLAN APPROVAL
 - SETBACK REDUCTION

1 SITE PLAN
 1" = 20'-0"



2 PERVIOUS AND IMPERVIOUS BREAKDOWN PLAN
 1" = 40'-0"

PERVIOUS/IMPERVIOUS BREAKDOWN LEGEND

OUTDOOR	SF	% OF SITE
BUILDING FOOT PRINT (IMPERVIOUS AREA)	23,714.65 SF	26.29%
PAVED VEHICULAR STREET (IMPERVIOUS AREA)	10,923.22 SF	12.41%
PEDESTRIAN WALKWAYS/DRIVEWAYS (IMPERVIOUS AREA)	12,042.4 SF	13.63%
LANDSCAPE AREA (PERVIOUS AREA)	40,968.09 SF	46.64%
PUBLIC PARK AREA	6,607.21 SF	7.63% ACRES
TOTAL AREA W/ OUT PARK	93,885.57 SF	100%

SITE DATA

GENERAL	REQ/DALLOWED	PROVIDED/REQUESTED
APPLICABLE CODES	2010 EDITION OF THE F.B.C. 2010 5TH EDITION OF THE FLORIDA FIRE PREVENTION CODE	
ZONING	RS-6000 = 5 UNITS/ACRE	PRD-1 = 16 UNITS/ACRE
LAND USE	SINGLE FAMILY RESIDENTIAL	SINGLE FAMILY RESIDENTIAL
NET 1	---	(B) 93,885.40 = 2.15 ACRES
CROSS - W/ OUT PORTION R.O.W. & W/ OUT PARK	---	(A) 98,963.41 = 2.27 ACRES
DEDICATED PARK AREA: MINIMUM	3 X 25' 121,320 = 0.19 ACRES 35A X 45.560 SF = 6,534 SF	(C) 6,607 SF = .15 ACRES
EXISTING DENSITY	2.27 ACRES @ 9.5 UNITS/ACRE = 21 ALLOWED	23 - 11 = 4 = APPROX. 14 FLEX RESERVE UNITS REQUESTED
DENSITY CALCULATIONS (PRD-1 @ 16 UNITS PER ACRE MAX)	46 UNITS X 2.27 ACRES = 104.42 = 97 TOWNHOUSES ALLOWED	PROVIDED UNITS 24 TOWNHOUSES + 1 SINGLE FAMILY RES. = 25
LOT COVERAGE MAX 40%	40% = 40 X 93,885 SF = 37,554 SF	23,715 SF = 25.3% 93,885 SF
MIN 40% PERVIOUS AREA	MIN 40% PERVIOUS AREA IMPERVIOUS AREA SHALL NOT EXCEED 60% IN RESIDENTIAL ZONING DISTRICTS DEP. 26, 28, 30, 32, 34	40,968 SF = 43.66% PERVIOUS

TOWNHOUSE / APARTMENT UNIT SCHEDULE

TOWNHOUSE / APARTMENT UNIT	DESCRIPTION	NET AREA	PROVIDED QTY.
TOWNHOUSE UNIT (A)	3 BDR, 2.5 BATH, 2 STORY	SEE AREA CALC. SHEET FOR UNIT AREA BREAKDOWN	17 UNITS
TOWNHOUSE UNIT (B)	3 BDR, 2.5 BATH, 2 STORY	SEE AREA CALC. SHEET FOR UNIT AREA BREAKDOWN	7 UNITS
SINGLE FAMILY RES.	3 BDR, 2.5 BATH, 1 STORY	SEE AREA CALC. SHEET FOR UNIT AREA BREAKDOWN	1 UNITS
GRAND TOTAL			25 UNITS

UNITS/BUILDING BREAKDOWN

BUILDING	NUMBER OF DWELLING UNITS	50 FT RANGE PER UNIT	TOTAL S.F. PER BUILDING (GROSS)
BUILDING # 1	7 UNITS - 3 STORY, 3 BDR, 2.5 BATH, 2 STORY	1878.76 SQ FT	6,335 SQ FT
BUILDING # 2	3 UNITS - 3 STORY, 3 BDR, 2.5 BATH, 2 STORY	1878.76 SQ FT	6,335 SQ FT
BUILDING # 3	7 UNITS - 3 STORY, 3 BDR, 2.5 BATH, 2 STORY	1878.76 SQ FT	2,744 SQ FT
BUILDING # 4	7 UNITS - 3 STORY, 3 BDR, 2.5 BATH, 2 STORY	1878.76 SQ FT	6,341 SQ FT
HOUSE	1 UNITS - 3 STORY, 3 BDR, 2.5 BATH, 1 STORY		3,280 SQ FT
GRAND TOTAL	25 UNITS		

SETBACKS

BUILDING #	REQ/DALLOWED	PROVIDED/REQUESTED
BUILDING # 1		
FRONT (SOUTH)	25'-0" (BUILDING #1)	25'-0" TO PRIV. ROAD
SIDE (EAST)	15'-0" (BUILDING #1)	15'-0" PLUS
SIDE (WEST)	15'-0" (BUILDING #1)	15'-0" PLUS
REAR (NORTH)	15'-0" (BUILDING #1)	15'-0"
WIDTH/HEIGHT	-	W180'-0" / H26'-0"
BETWEEN BUILDINGS	30'-0"	30'-0" (TO SINGLE FAM. RES.) 30'-0" (TO BUILDING #2)
BUILDING # 2		
FRONT (EAST)	25'-0" (BUILDING #2)	25'-0" TO PRIV. ROAD
SIDE (EAST)	15'-0" (BUILDING #2)	15'-0" PLUS
SIDE (WEST)	15'-0" (BUILDING #2)	15'-0" PLUS
REAR (NORTH)	15'-0" (BUILDING #2)	15'-0"
WIDTH/HEIGHT	-	W180'-0" / H26'-0"
BETWEEN BUILDINGS	30'-0"	30'-0" (TO BUILDING #1) 30'-0" (TO BUILDING #3)
BUILDING # 3		
FRONT (EAST)	25'-0" (BUILDING #3)	25'-0" TO PRIV. ROAD
SIDE (NORTH)	15'-0" (BUILDING #3)	20'-4"
SIDE (SOUTH)	15'-0" (BUILDING #3)	42'-1"
REAR (WEST)	15'-0" (BUILDING #3)	15'-0" MIN TO 17'-3"
WIDTH/HEIGHT	-	W180'-0" / H26'-0"
BETWEEN BUILDINGS	30'-0"	30'-0"
BUILDING # 4		
FRONT (NORTH)	25'-0" (BUILDING #4)	25'-0" TO PRIV. ROAD/PL
SIDE (EAST)	15'-0" (BUILDING #4)	15'-0" PLUS
SIDE (WEST)	15'-0" (BUILDING #4)	15'-0" PLUS
REAR (SOUTH)	15'-0" (BUILDING #4)	15'-0"
WIDTH/HEIGHT	-	W180'-0" / H26'-0"
BETWEEN BUILDINGS	30'-0"	30'-0" (TO BUILDING #1) 30'-0" (TO BUILDING #3)
HOUSE/SINGLE FAMILY RESIDENCE		
FRONT (SOUTH)	25'-0"	25'-0" TO PRIV. ROAD
SIDE (WEST)	15'-0"	30'-0" TO BLDG #1
SIDE (EAST)	25'-0"	20'-0" (FROM EDGE OF NEW R.O.W.) * PRD REQUEST
REAR (NORTH)	15'-0"	19'-2"
WIDTH/HEIGHT	-	W16'-3" / H26'-2"
BETWEEN BUILDINGS	30'-0"	30'-0" (TO BUILDING #1)

PARKING CALCULATIONS

TYPE	REQ.	PROV.
DRIVEWAY PER UNIT (100000)	25	55
STREET PER UNIT (100000)	25	55
LANDSCAPE PER UNIT (100000)	25	55
TOTAL	75	165

NEW TOWNHOUSES FOR
DANIA OAKS TOWNHOMES
 541 S.W. 40TH AVENUE

- REVIEW SET
 - PRELIMINARY
 - NOT FOR CONSTRUCTION
 - DRIVE/RAIN PERMIT SET
 - PERMIT SET
 - BID SET
 - CONSTRUCTION SET
- SUBMITTAL DATE: 06-24-2015

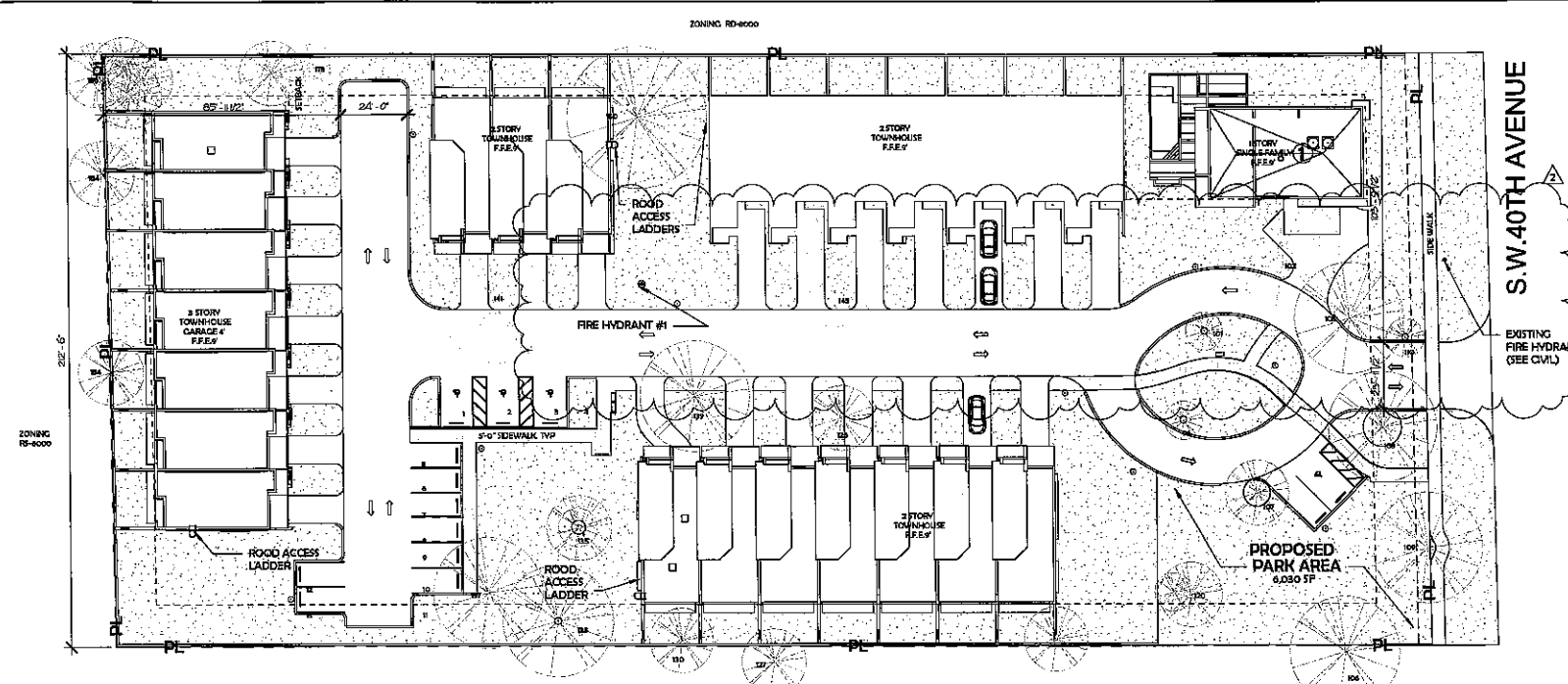
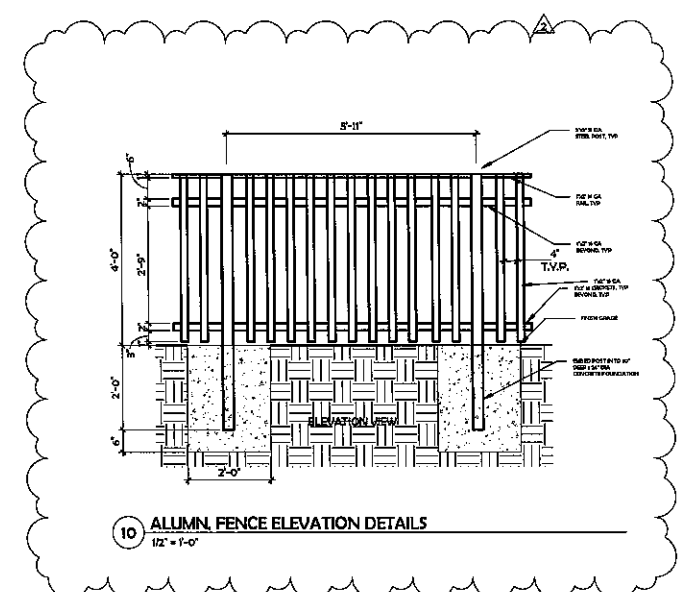
DRAWN BY
 Author

CHECKED BY
 AR SKLAR

SITE PLAN

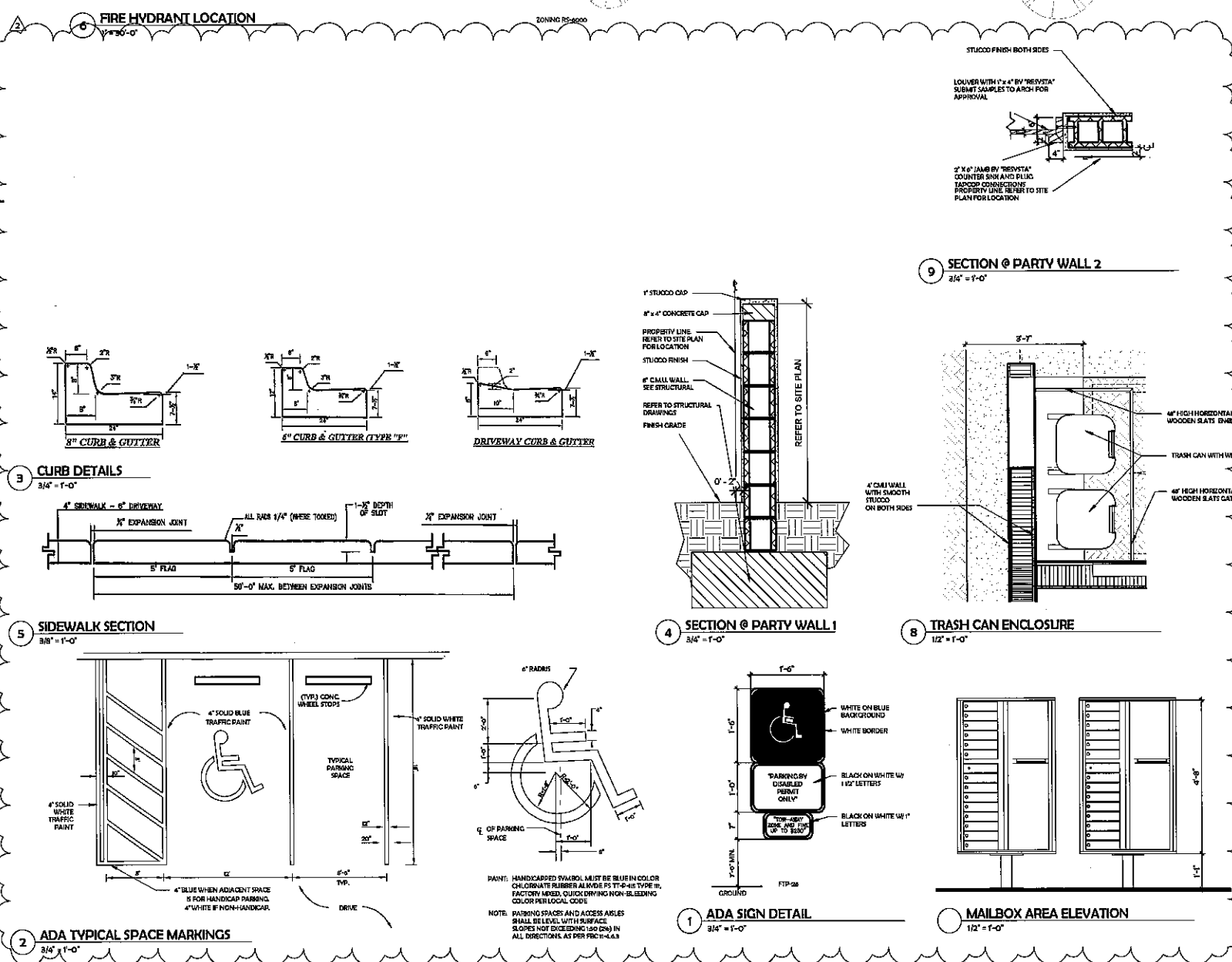
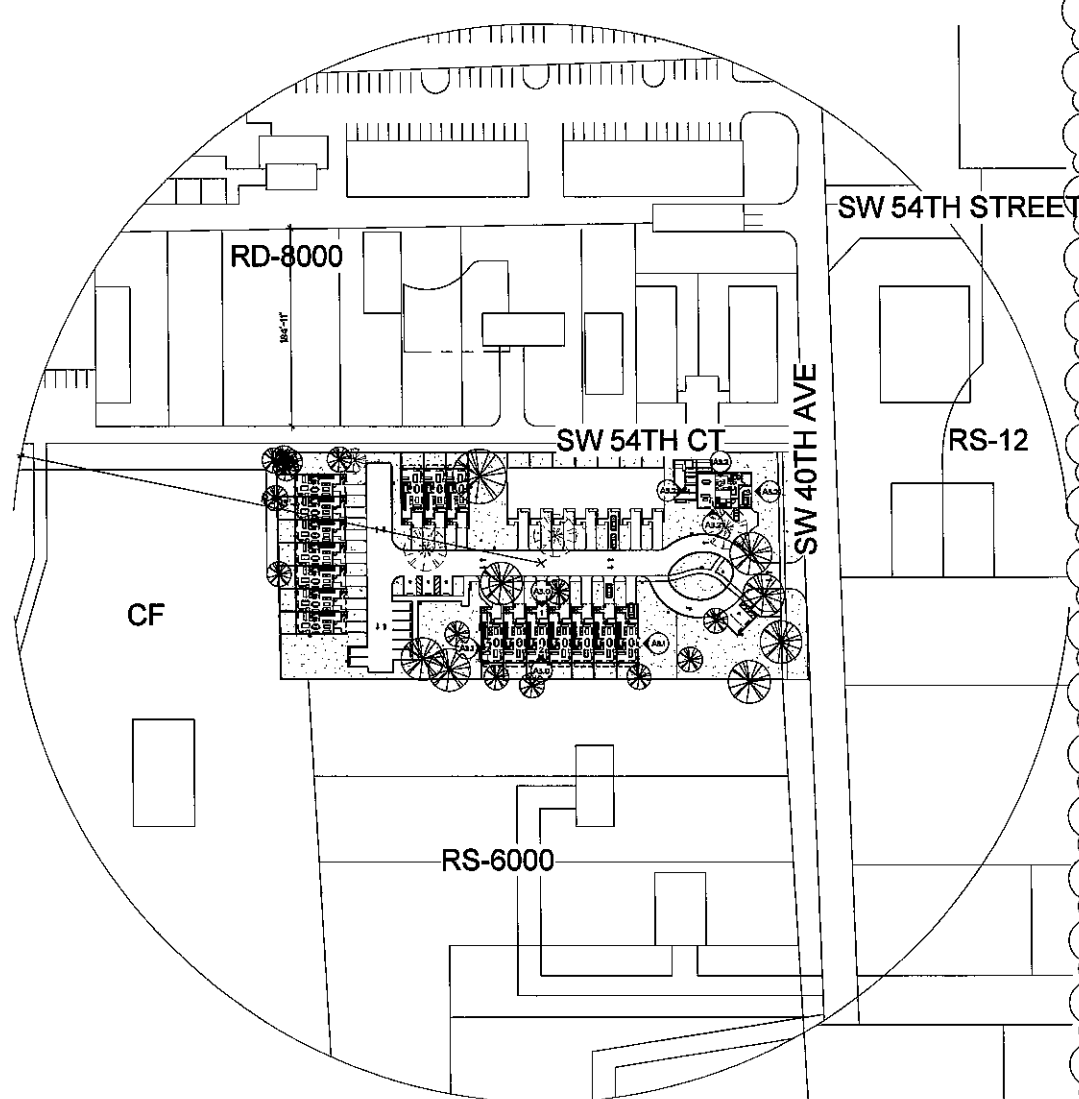
A1.0

PROJECT # 12-002
 DATE: 07-23-14



S.W. 40TH AVENUE

REVISIONS
 2 06-30-16 TO REVIEW COMMENTS



NEW TOWNHOUSES FOR:
DANIA OAKS TOWNHOMES
 548 SW 40TH AVENUE

REVIEW SET
 PRELIMINARY
 NOT FOR CONSTRUCTION
 DRV PLAN PERMIT SET
 PERMIT SET
 BID SET
 CONSTRUCTION SET

SUBMITTAL DATE: 06-24-2015

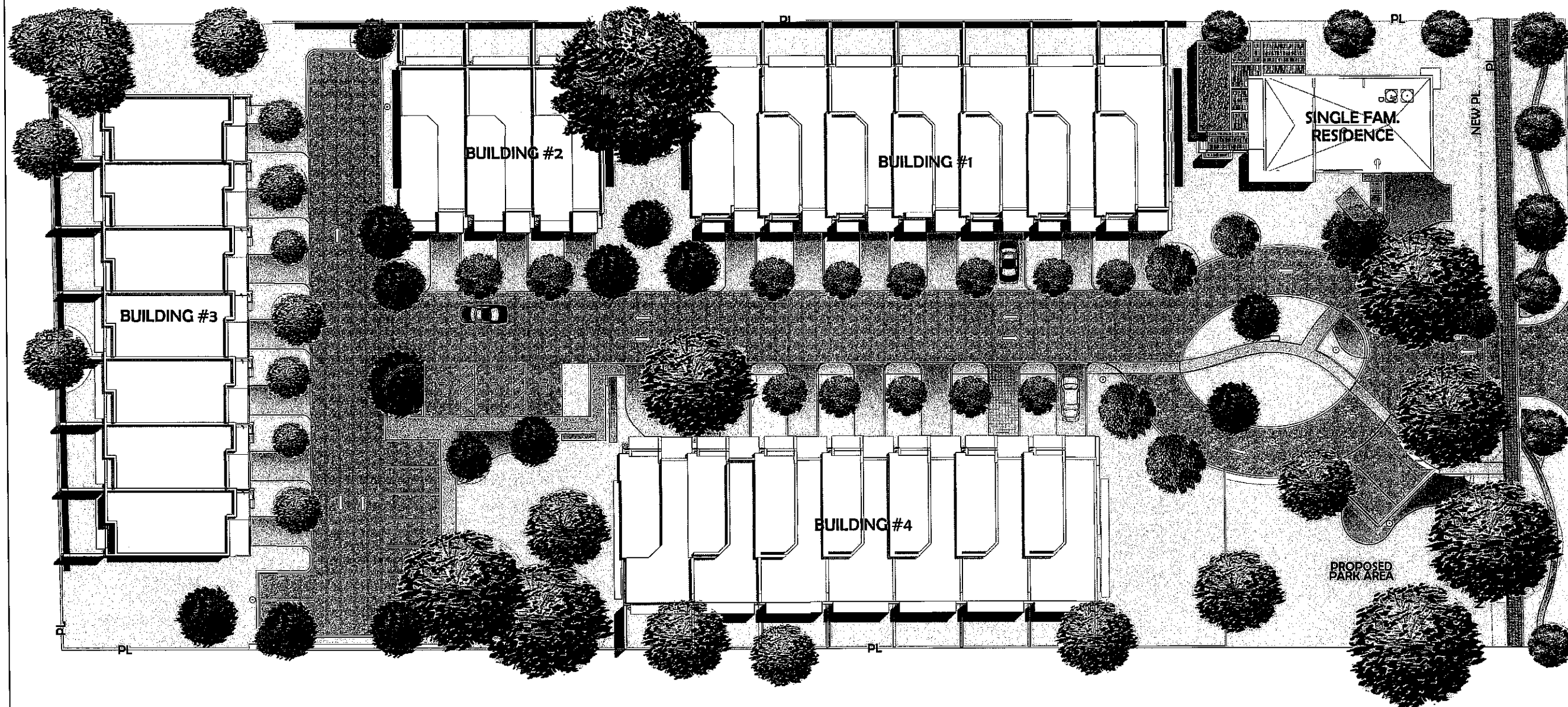
DRAWN BY:
 Author
 CHECKED BY:
 AR SKLAR

SITE PLAN DETAILS

A1.1

PROJECT #: 12-002

DATE: 07-25-14



REVISIONS

1 06-06-13 02 REVIEW COMMENTS

S.W. 40TH AVENUE

NEW TOWNHOUSE FOR:
DANIA OAKS TOWNHOMES
2845 SW 40TH AVENUE

- REVIEW SET
 - PRELIMINARY
 - NOT FOR CONSTRUCTION
 - CIVIL/PLN PERMIT SET
 - PERMIT SET
 - BID SET
 - CONSTRUCTION SET
- SUBMITTAL DATE: 06-24-2013

DRAWN BY:
Author
CHECKED BY:
ARI SKLAR

INVS COLOR

A1.2

PROJECT #: 12-002

DATE: 07-25-14

PLAN LEGEND	
	NEW 4' CMU WALL
	NEW 4 1/2" CUB WALL
	NEW CONCRETE COLUMN
	EXISTING CITY SIDEWALK
	CONC. PAVER WALKWAYS
	CONCRETE DRIVEWAY/PARKING
	ASPHALT DRIVEWAY

PROJECT NOTES:

1. PROVIDE SHOP DRAWINGS FOR ARCHITECT APPROVAL.
2. PROVIDE FITCH PANS TO SEAL ALL NEW ROOF PENETRATIONS.
3. ALL UNITS SHALL BE SCREENED SEE MECHANICAL DRAWINGS FOR A/C UNIT RACK ATTACHMENT.
4. THE ROOF WILL NOT BE HABITABLE OR USED FOR RECREATION PURPOSES.
5. ALL EXTERNAL LADDERS FOR ROOF ACCESS WILL BE FOLDABLE, CONCEALED AND INSTALLED IN AN INCONSPICUOUS LOCATION (SEE SITE PLAN) AND PAINTED TO MATCH THE BUILDINGS.
6. THE DEVELOPMENT WILL NOT BE GATED.
7. SIGNAGE NOT INCLUDED W/ THIS APPLICATION.

WILD LIFE PROTECTION NOTES:

THE AVOIDANCE OF IMPACT TO THE SAFE CAPTURE AND RELOCATION OF ANY WILD LIFE SPECIES PROTECTED BY FEDERAL OR STATE LAW IN ACCORDANCE WITH RELEVANT PERMITS AND REGULATION SHALL BE PROVIDED.

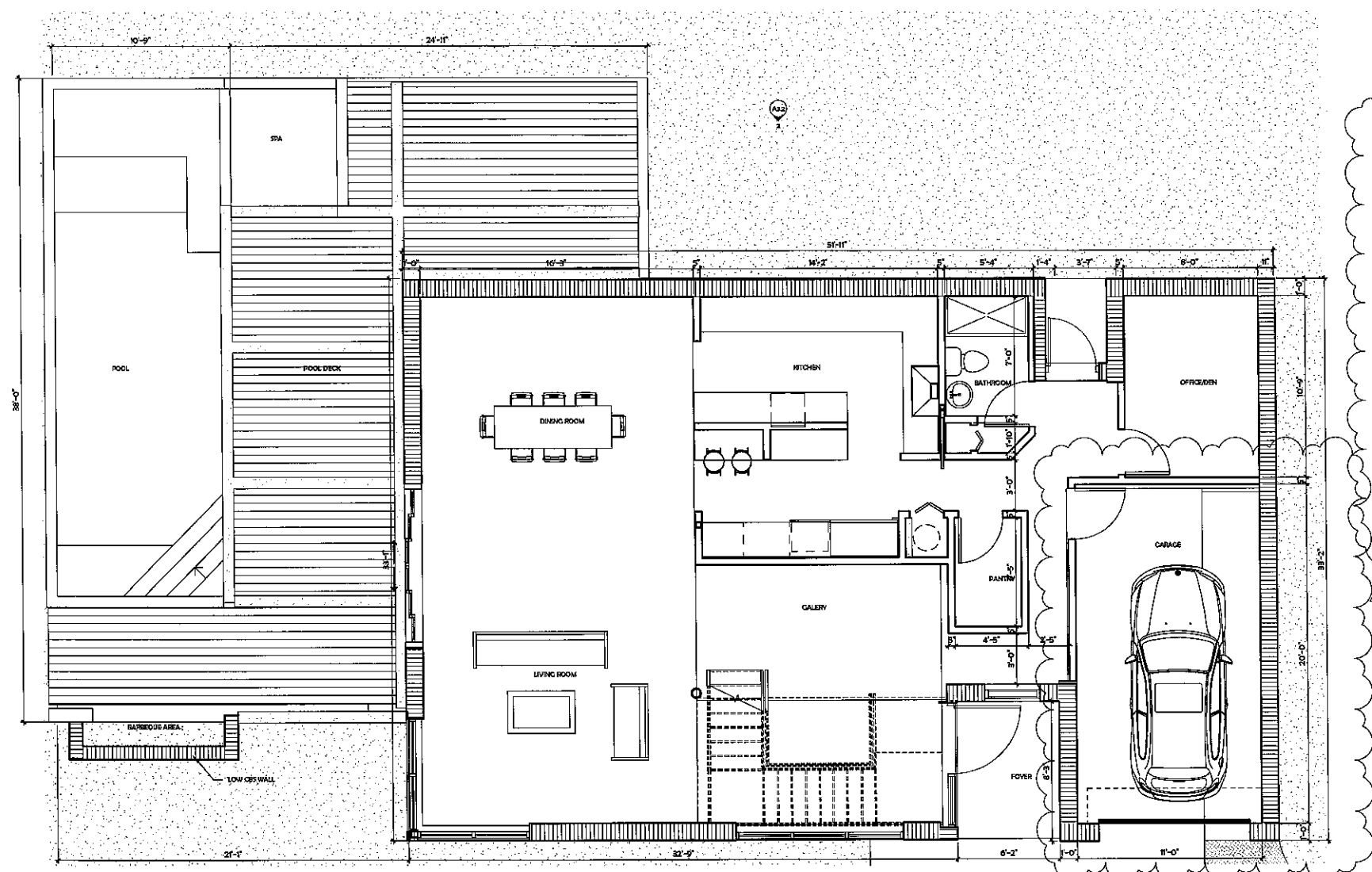
UPON REQUEST, A WRITTEN REPORT OF A QUALIFIED, INDEPENDENT, PRIVATE CONSULTANT, APPROVE BY THE CITY, WHICH EVALUATES THE LAND AREAS EXISTING CONDITIONS, WILDLIFE POPULATIONS OF PROTECTED SPECIES (BY NUMBERS AND TYPES) AND PROPOSES A SPECIFIC ACTION PLAN FOR THE CONSERVATION WILL BE PROVIDED.

UPON REQUEST, A PROOF OF PERMITS AND COORDINATION WITH FEDERAL, STATE AND COUNTY ENVIRONMENTAL REGULATORY AGENCIES WILL BE PROVIDED.

PROJECT REQUESTS:

- PLATTING
- RE ZONING
- FLEX RESERVE UNITS
- SITE PLAN APPROVAL
- SETBACK REDUCTION

REVISIONS		
2	06-04-14	2P REVIEW COMMENTS



1 FIRST FLOOR PLAN-SINGLE FAMILY HOME
 1/4" = 1'-0"

NEW TOWNHOUSES FOR:
DANIA OAKS TOWNHOMES
 5405 SW 40TH AVENUE

- REVIEW SET
 - PRELIMINARY
 - NOT FOR CONSTRUCTION
 - DRY RUN PERMIT SET
 - PERMIT SET
 - BID SET
 - CONSTRUCTION SET
- SUBMITTAL DATE: 06-24-2015

DRAWN BY:
 Author

CHECKED BY:
 ARI SKLAR

FIRST FLOOR PLAN SINGLE FAMILY HOME

A2.0

PROJECT #: 12-002

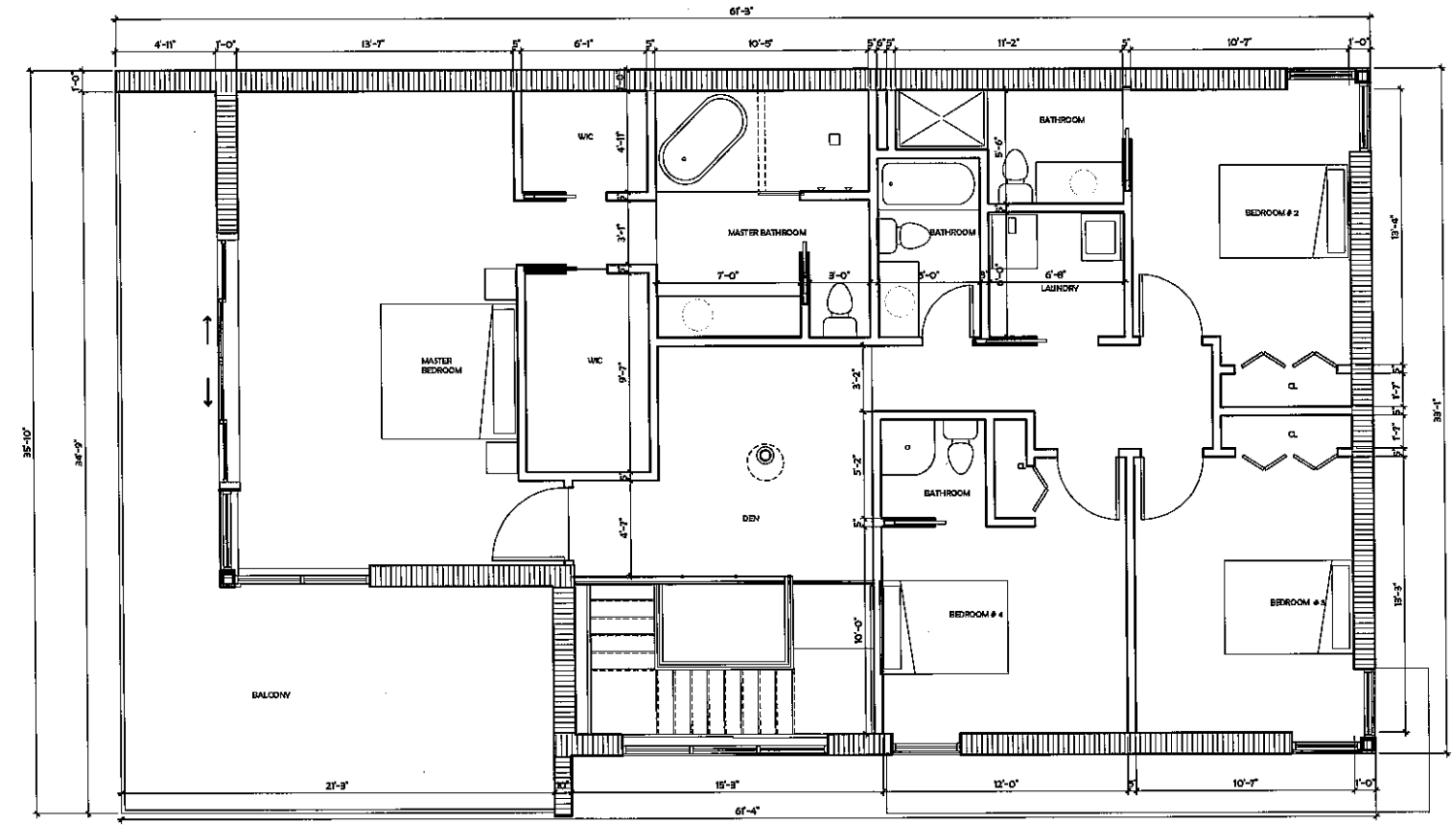
DATE: 07-25-14

PLAN LEGEND	
	NEW 4' CMU WALL
	NEW 4' 7/8\"/>
	NEW CONCRETE COLUMN
	EXISTING CITY SIDEWALK
	CONC. PAVER WALKWAY
	CONCRETE DRIVEWAY/PARKING
	ASPHALT DRIVEWAY

- PROJECT NOTES:**
1. PROVIDE SHOP DRAWINGS FOR ARCHITECT APPROVAL.
 2. PROVIDE PITCH PANS TO SEAL ALL NEW ROOF PENETRATIONS.
 3. ALL UNITS SHALL BE SCREENED SEE MECHANICAL DRAWINGS FOR A/C UNIT RACK ATTACHMENT.
 4. THE ROOF WILL NOT BE HABITABLE OR USED FOR RECREATION PURPOSES.
 5. ALL EXTERNAL LADDERS FOR ROOF ACCESS WILL BE FOLDABLE, CONCEALED AND INSTALLED IN A UN INCONSPICUOUS LOCATION (SEE SITE PLAN) AND PAINTED TO MATCH THE BUILDINGS.
 6. THE DEVELOPMENT WILL NOT BE GATED.
 7. SIGNAGE NOT INCLUDED W/ THIS APPLICATION.

WILD LIFE PROTECTION NOTES:
 THE AVOIDANCE OF IMPACT TO THE SAFE CAPTURE AND RELOCATION OF ANY WILD LIFE SPECIES PROTECTED BY FEDERAL OR STATE LAW IN ACCORDANCE WITH RELEVANT PERMITS AND REGULATION SHALL BE PROVIDED.
 UPON REQUEST, A WRITTEN REPORT OF A QUALIFIED, INDEPENDENT, PRIVATE CONSULTANT, APPROVE BY THE CITY, WHICH EVALUATES THE LAND AREA'S EXISTING CONDITIONS, WILD LIFE POPULATIONS OF PROTECTED SPECIES (BY NUMBERS AND TYPES), AND PROPOSES A SPECIFIC ACTION PLAN FOR THE CONSERVATION WILL BE PROVIDED.
 UPON REQUEST, A PROOF OF PERMITS AND COORDINATION WITH FEDERAL, STATE AND COUNTY ENVIRONMENTAL REGULATORY AGENCIES WILL BE PROVIDED.

- PROJECT REQUESTS:**
- PLATTING
 - RE ZONING
 - FLEX/ RESERVE UNITS
 - SITE PLAN APPROVAL
 - SETBACK REDUCTION



1 SECOND FLOOR PLAN SINGLE FAMILY HOME
 1/4" = 1'-0"

REVISIONS	
2	06-24-2015 SP REVIEW COMMENT

NEW TOWNHOUSES FOR
DANIA OAKS TOWNHOMES
 8445 SW 40TH AVENUE

- REVIEW SET
 - PRELIMINARY
 - NOT FOR CONSTRUCTION
 - DRY RUN PERMIT SET
 - PERMIT SET
 - BID SET
 - CONSTRUCTION SET
- SUBMITTAL DATE: 06-24-2015








DRAWN BY:
 Author

CHECKED BY:
 ARI SKLAR

SECOND FLOOR PLAN -
 SINGLE FAMILY HOME

A2.1

PROJECT #: 12-002
 DATE: 07-29-14

PLAN LEGEND	
	NEW 4" CMU WALL
	NEW 4.75" GMB WALL
	NEW CONCRETE COLUMN
	EXISTING CITY SIDEWALK
	CONC. RAVER WALKWAYS
	CONCRETE DRIVEWAY/PARKING
	ASPHALT DRIVING AISLE

PROJECT NOTES:

1. PROVIDE SHOP DRAWINGS FOR ARCHITECT APPROVAL.
2. PROVIDE PITCH PANS TO SEAL ALL NEW ROOF PENETRATIONS.
3. ALL UNITS SHALL BE SCREENED SEE MECHANICAL DRAWINGS FOR AC UNIT RACK ATTACHMENT.
4. THE ROOF WILL NOT BE HABITABLE OR USED FOR RECREATION PURPOSES.
5. ALL EXTERNAL LADDERS FOR ROOF ACCESS WILL BE FOLDABLE, CONSOLE AND INSTALLED IN A UN INCONSPICUOUS LOCATION (SEE SITE PLAN AND PAINTED TO MATCH THE BUILDINGS).
6. THE DEVELOPMENT WILL NOT BE GATED.
7. SIGNAGE NOT INCLUDED W/ THIS APPLICATION.

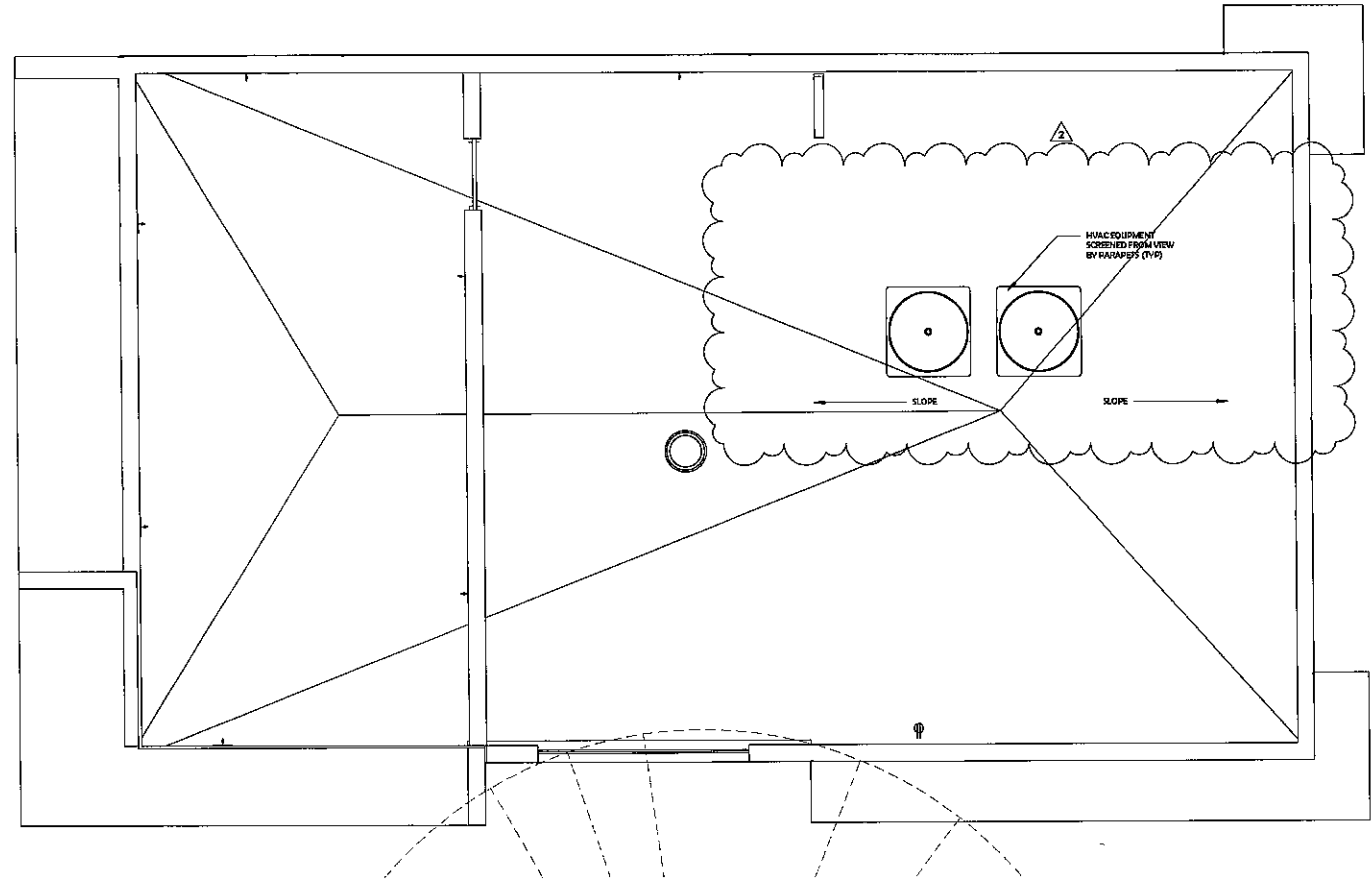
WILD LIFE PROTECTION NOTES:

THE AVOIDANCE OF IMPACT TO THE SAFE CAPTURE AND RELOCATION OF ANY WILD LIFE SPECIES PROTECTED BY FEDERAL OR STATE LAW IN ACCORDANCE WITH RELEVANT PERMITS AND REGULATION SHALL BE PROVIDED.

- UPON REQUEST, A WRITTEN REPORT OF A QUALIFIED, INDEPENDENT, PRIVATE CONSULTANT, APPROVE BY THE CITY, WHICH EVALUATES THE LAND AREA'S EXISTING CONDITIONS, WILD LIFE POPULATIONS OF PROTECTED SPECIES (BY NUMBERS AND TYPES) AND PROPOSES A SPECIFIC ACTION PLAN FOR THE CONSERVATION WILL BE PROVIDED.
- UPON REQUEST, A PROOF OF PERMITS AND COORDINATION WITH FEDERAL, STATE AND COUNTY ENVIRONMENTAL REGULATORY AGENCIES WILL BE PROVIDED.

PROJECT REQUESTS:

- PLATTING
- RE ZONING
- FLEX/ RESERVE UNITS
- SITE PLAN APPROVAL
- SETBACK REDUCTION



1 ROOF PLAN SINGLE FAMILY HOME
1/4" = 1'-0"

NEW TOWNHOUSE FOR:
DANIA OAKS TOWNHOMES
3443 SW 40TH AVENUE

- REVIEW SET
- PRELIMINARY
- NOT FOR CONSTRUCTION
- CIVIL PLAN PERMIT SET
- PERMIT SET
- BID SET
- CONSTRUCTION SET

SUBMITTAL DATE: 06-24-2015

DRAWN BY:
Author

CHECKED BY:
ARI SKLAR

ROOF PLAN SINGLE FAMILY HOME

A2.2

PROJECT #: 12-002

DATE: 07-25-14

PLAN LEGEND	
	NEW 4' CMU WALL
	NEW 4 1/2' CMU WALL
	NEW CONCRETE COLUMN
	EXISTING CONCRETE SIDEWALK
	CONCRETE PAVER WALKWAYS
	CONCRETE DRIVEWAY/PARKING
	ASPHALT DRIVEWAY

PROJECT NOTES:

1. PROVIDE SHOP DRAWINGS FOR ARCHITECT APPROVAL.
2. PROVIDE PITCH PANS TO SEAL ALL NEW ROOF PENETRATIONS.
3. ALL UNITS SHALL BE SCREENED SEE MECHANICAL DRAWINGS FOR A/C UNIT RACK ATTACHMENT.
4. THE ROOF WILL NOT BE HABITABLE OR USED FOR RECREATION PURPOSES.
5. ALL EXTERNAL LADDERS FOR ROOF ACCESS WILL BE FOLDABLE, CONCEALED AND INSTALLED IN A LULU INCONSPICUOUS LOCATION (SEE SITE PLAN) AND PAINTED TO MATCH THE BUILDINGS.
6. THE DEVELOPMENT WILL NOT BE GATED.
7. SIGNAGE NOT INCLUDED W/ THIS APPLICATION.

WILD LIFE PROTECTION NOTES:

THE AVOIDANCE OF IMPACT TO THE SAFE CAPTURE AND RELOCATION OF ANY WILD LIFE SPECIES PROTECTED BY FEDERAL OR STATE LAW IN ACCORDANCE WITH RELEVANT PERMITS AND REGULATION SHALL BE PROVIDED.

- UPON REQUEST, A WRITTEN REPORT OF A QUALIFIED, INDEPENDENT, PRIVATE CONSULTANT, APPROVED BY THE CITY, WHICH EVALUATES THE LAND AREAS EXISTING CONDITIONS, WILDLIFE POPULATIONS OF PROTECTED SPECIES (BY NUMBERS AND TYPES) AND PROPOSES A SPECIFIC ACTION PLAN FOR THE CONSERVATION WILL BE PROVIDED.
- UPON REQUEST, A PROOF OF PERMITS AND COORDINATION WITH FEDERAL, STATE AND COUNTY ENVIRONMENTAL REGULATORY AGENCIES WILL BE PROVIDED.

PROJECT REQUESTS:

- PLATTING
- RE ZONING
- FLEX RESERVE STUDY
- SITE PLAN APPROVAL
- SETBACK REDUCTION

REVISIONS

2	06-24-2015	30 REVIEW COMMENTS
---	------------	--------------------

NEW TOWNHOUSES FOR:
DANIA OAKS TOWNHOMES
 3445 SW 40TH AVENUE

<input type="checkbox"/>	REVIEW SET
<input type="checkbox"/>	PRELIMINARY
<input type="checkbox"/>	NOT FOR CONSTRUCTION
<input type="checkbox"/>	DRY RUN PERMIT SET
<input type="checkbox"/>	PERMIT SET
<input type="checkbox"/>	BID SET
<input type="checkbox"/>	CONSTRUCTION SET

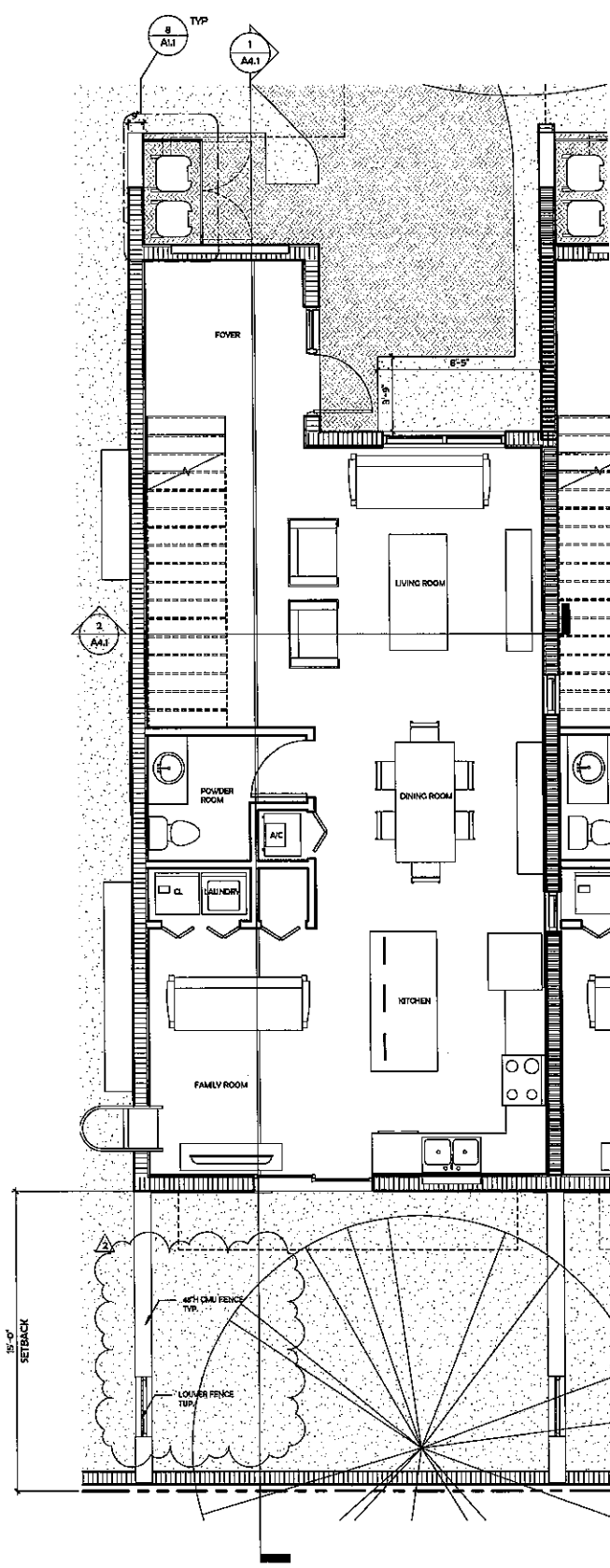
SUBMITTAL DATE: 06-24-2015

DRAWN BY
 Author
 CHECKED BY
 ARL SKLAR

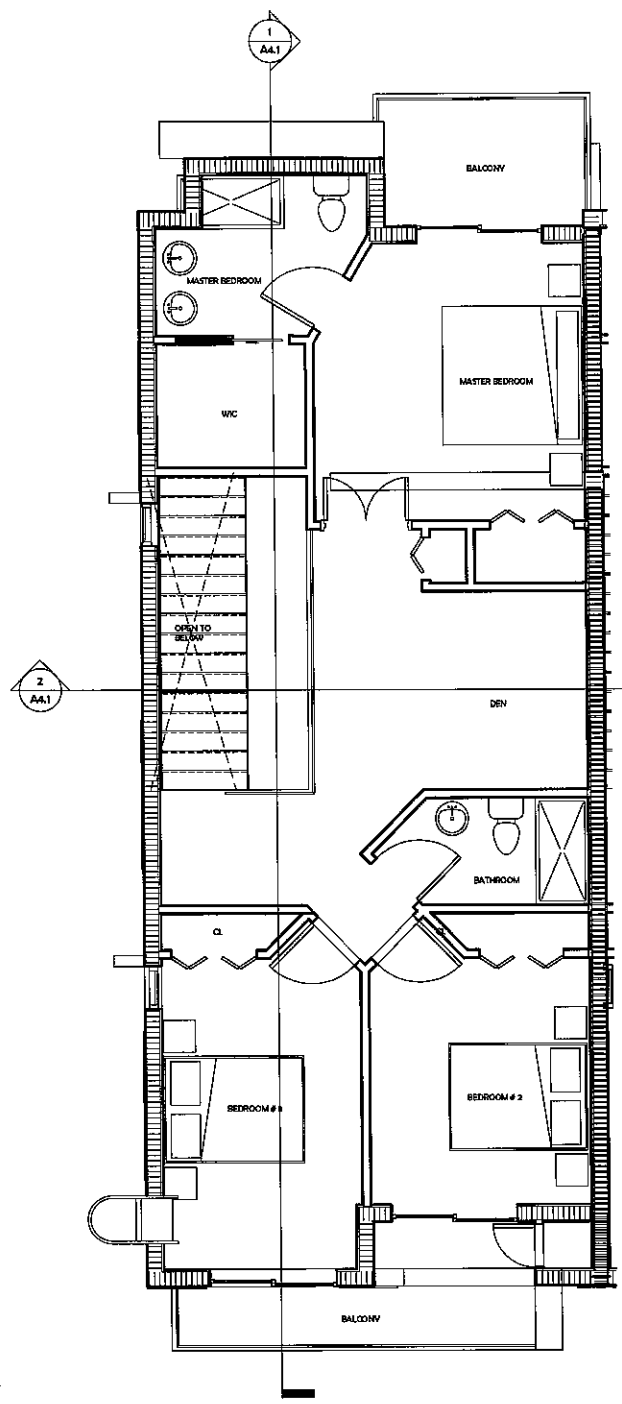
ENLARGED FLOOR PLANS - SHEET A

A2.3

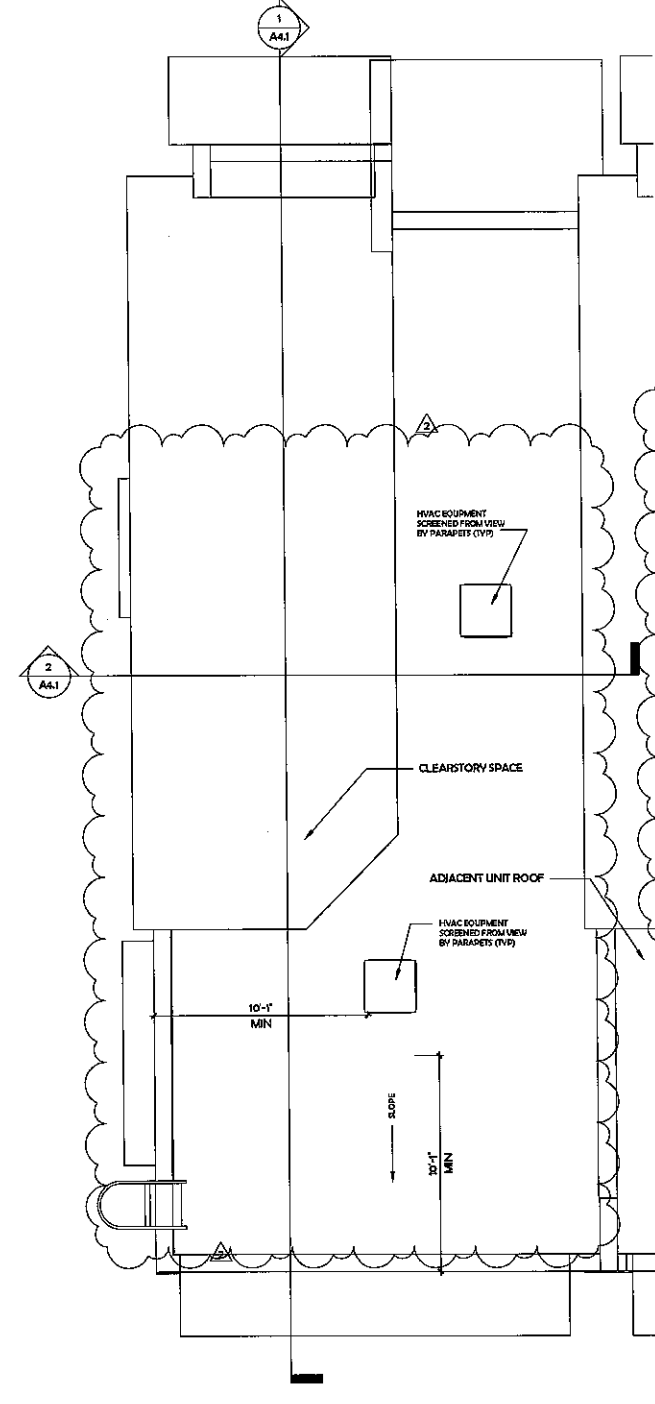
PROJECT #: 12-002
 DATE: 07-29-14



2 FIRST FLOOR APARTMENT A
 1/4" = 1'-0"



1 SECOND FLOOR APARTMENT A
 1/4" = 1'-0"



3 ROOF PLAN APARTMENT A
 1/4" = 1'-0"

PLAN LEGEND	
	NEW 4' CMU WALL
	NEW 4 1/2" CMU WALL
	NEW CONCRETE COLUMN
	EXISTING CITY SIDEWALK
	CONCRETE PAVER WALKWAYS
	CONCRETE DRIVEWAY/PARKING
	ASPHALT DRIVEWAY

PROJECT NOTES:

1. PROVIDE SHOP DRAWINGS FOR ARCHITECT APPROVAL.
2. PROVIDE PITCH PANS TO SEAL ALL NEW ROOF PENETRATIONS.
3. ALL UNITS SHALL BE SCREENED SEE MECHANICAL DRAWINGS FOR A/C UNIT PACK ATTACHMENT.
4. THE ROOF WILL NOT BE HABITABLE OR USED FOR RECREATION PURPOSES.
5. ALL EXTERNAL LADDERS FOR ROOF ACCESS WILL BE FOLDABLE, CONCEALED AND INSTALLED IN AN INCONSPICUOUS LOCATION (SEE SITE PLAN) AND PAINTED TO MATCH THE BUILDINGS.
6. THE DEVELOPMENT WILL NOT BE GATED.
7. SIGNAGE NOT INCLUDED WITH THIS APPLICATION.

WILD LIFE PROTECTION NOTES:

THE AVOIDANCE OF IMPACT TO THE SAFE CAPTURE AND RELOCATION OF ANY WILD LIFE SPECIES PROTECTED BY FEDERAL OR STATE LAW IN ACCORDANCE WITH RELEVANT PERMITS AND REGULATION SHALL BE PROVIDED.

- UPON REQUEST, A WRITTEN REPORT OF A QUALIFIED, INDEPENDENT, PRIVATE CONSULTANT, APPROVED BY THE CITY, WHICH EVALUATES THE LAND AREA'S EXISTING CONDITIONS, WILDLIFE POPULATIONS OF PROTECTED SPECIES (BY NUMBERS AND TYPES) AND PROPOSES A SPECIFIC ACTION PLAN FOR THE CONSERVATION WILL BE PROVIDED.
- UPON REQUEST, A PROOF OF PERMITS AND COORDINATION WITH FEDERAL, STATE AND COUNTY ENVIRONMENTAL REGULATORY AGENCIES WILL BE PROVIDED.

PROJECT REQUESTS:

- FLATTING
- RE ZONING
- FLEX RESERVE UNITS
- SITE PLAN APPROVAL
- SETBACK REDUCTION

NEW TOWNHOUSES FOR:
DANIA OAKS TOWNHOMES
3441 SW 40TH AVENUE

- REVIEW SET
- PRELIMINARY
- NOT FOR CONSTRUCTION
- DRY RUN PERMIT SET
- PERMIT SET
- BID SET
- CONSTRUCTION SET

SUBMITTAL DATE: 06-24-2015

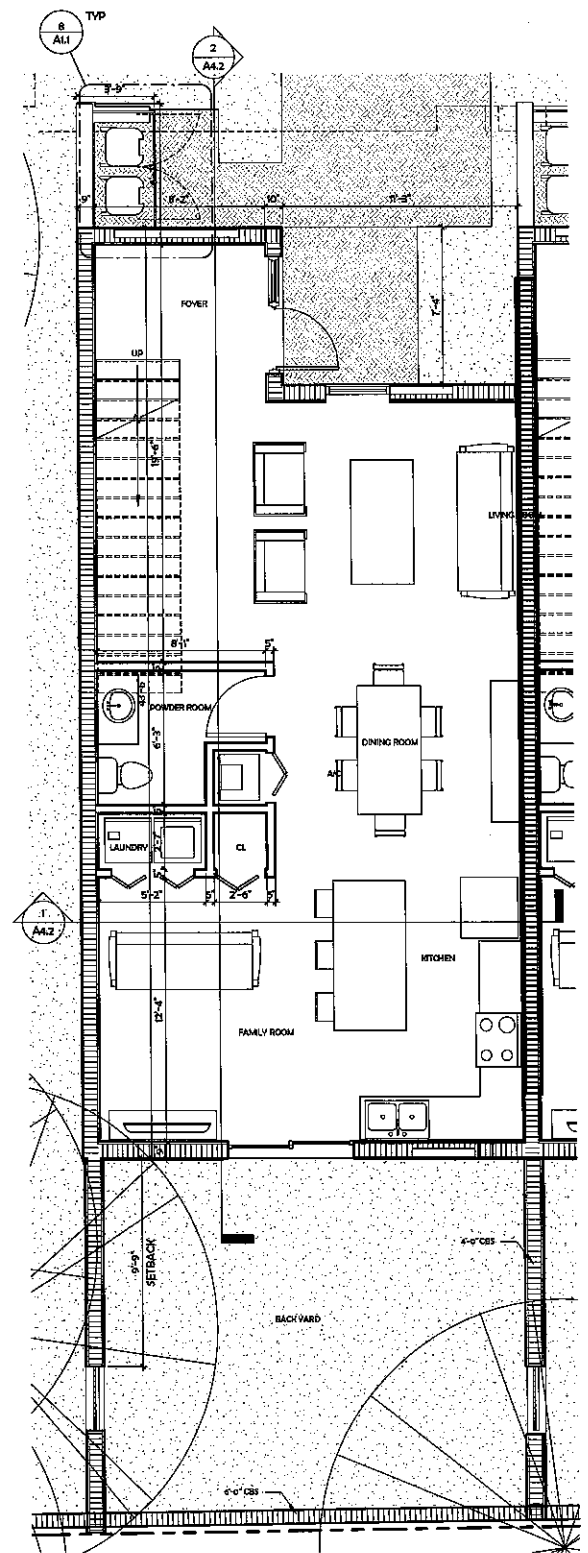
DRAWN BY:
Author
CHECKED BY:
ARI SKLAR

**ENLARGED FLOOR
PLANS - SHEET B**

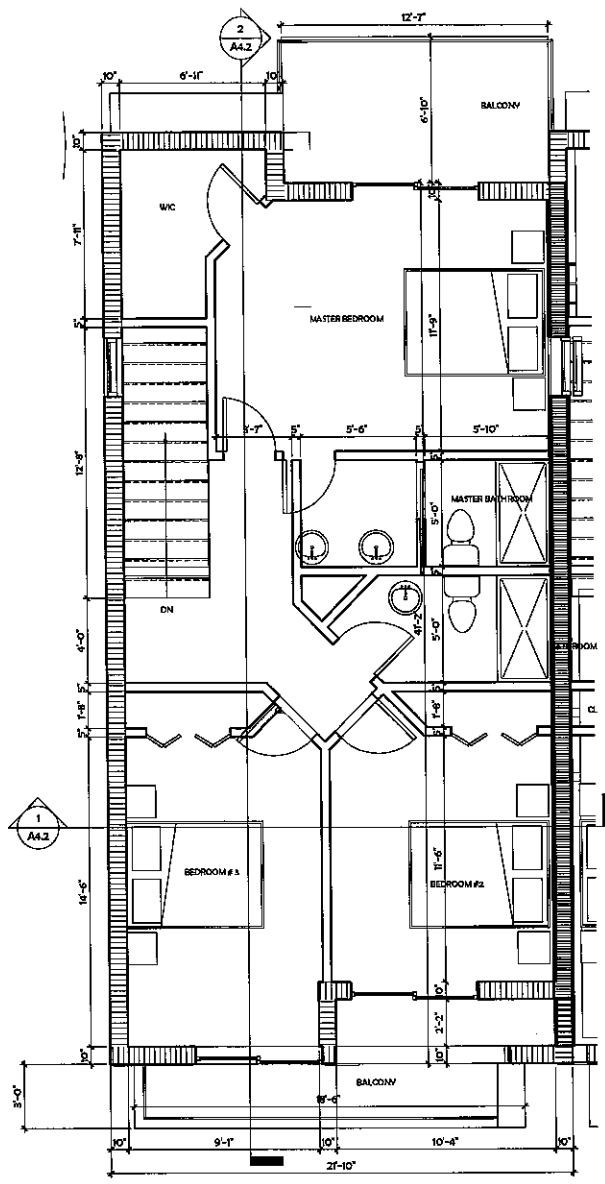
A2.4

PROJECT #: 13-002

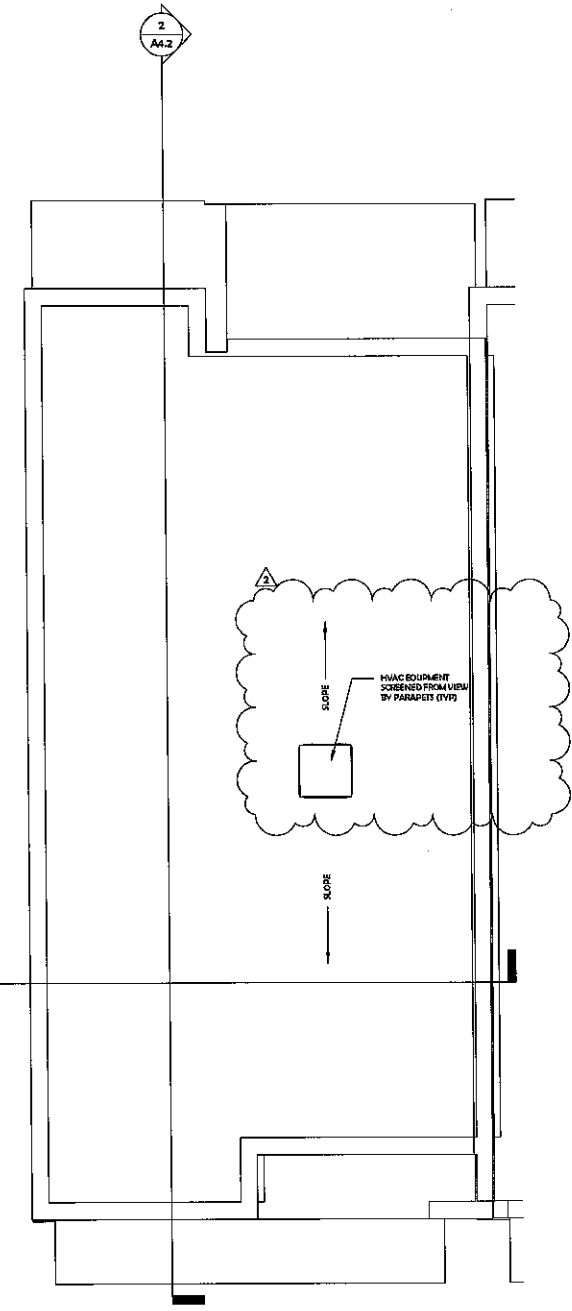
DATE: 07-23-14



1 FIRST FLOOR APARTMENT B
1/4" = 1'-0"



2 SECOND FLOOR APARTMENT B
1/4" = 1'-0"



3 ROOF PLAN APARTMENT B
1/4" = 1'-0"



1 TYPICAL FRONT ELEVATION
310' x 1'-0"



2 TYPICAL REAR ELEVATION
310' x 1'-0"

REVISIONS
1: 04-20-14 2: REVIEW COMMENTS

NEW TOWNHOUSES FOR:
DANIA OAKS TOWNHOMES
3445 SW 40TH AVENUE

- REVIEW SET
 - PRELIMINARY
 - NOT FOR CONSTRUCTION
 - DIVISION PERMIT SET
 - PERMIT SET
 - BID SET
 - CONSTRUCTION SET
- SUBMITTAL DATE: 04-24-2015

DRAWN BY:
Author
CHECKED BY:
ARI SKLAR

TYPICAL ELEVATIONS

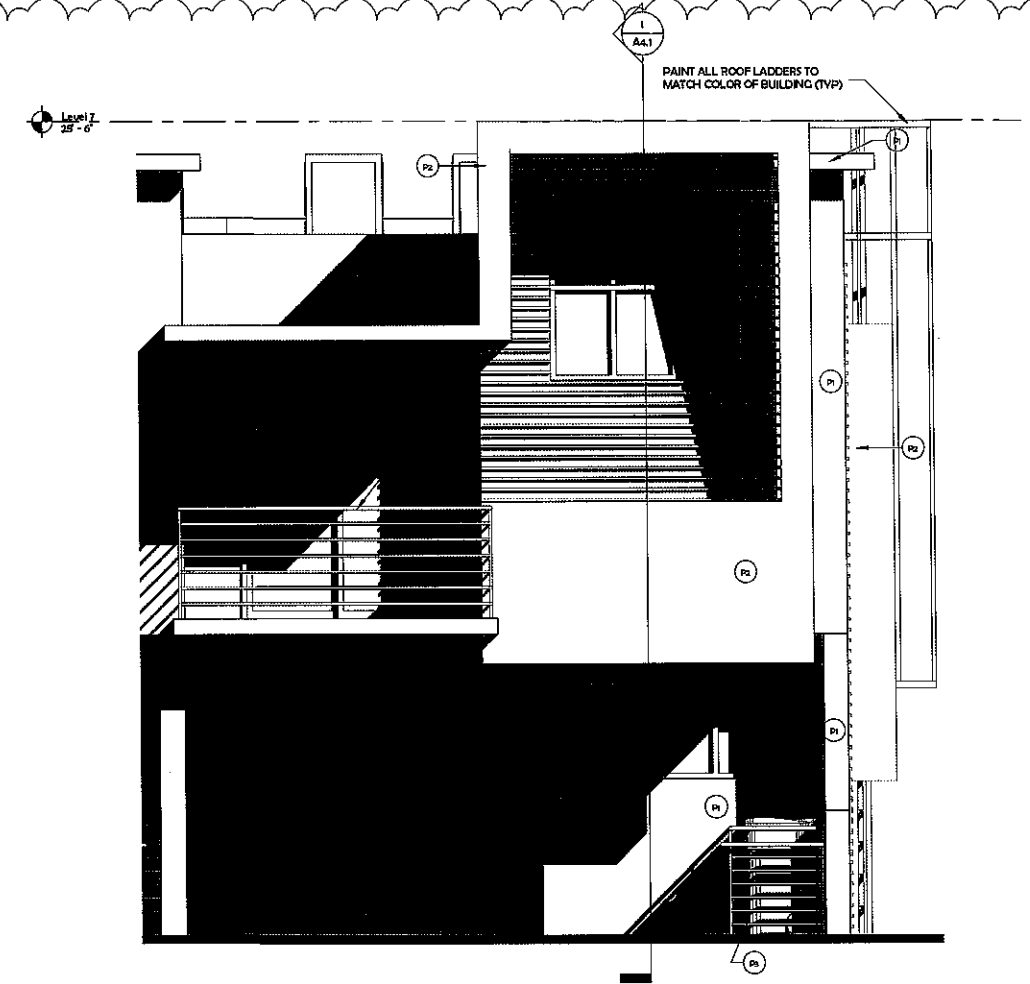
A3.0

PROJECT #: 12-002

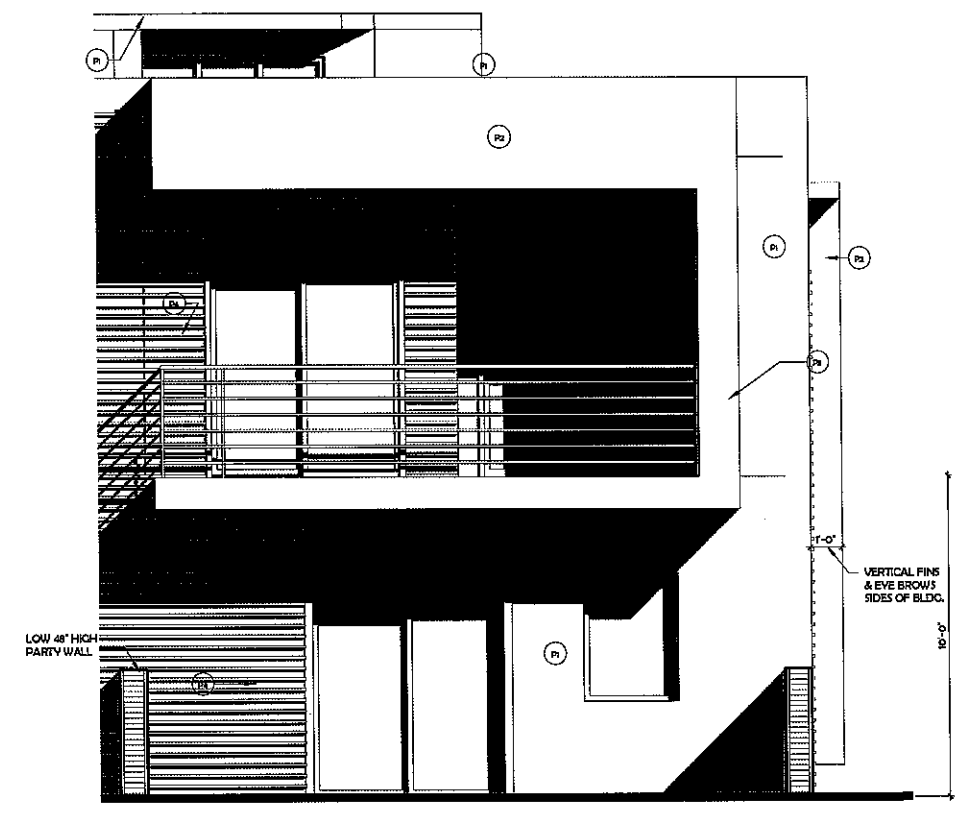
DATE: 07-25-14

REVISIONS

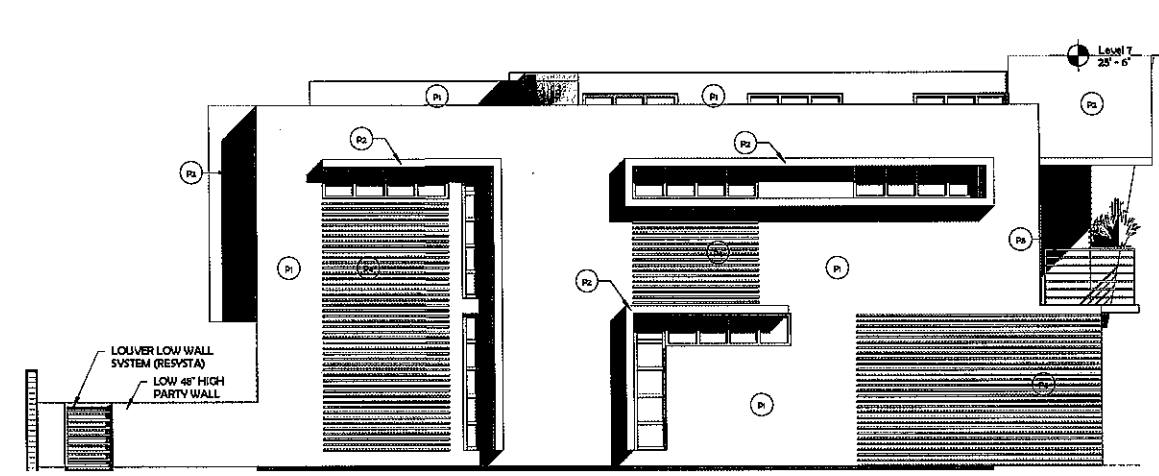
2	06-24-2015	2P REVIEW COMMENT
---	------------	-------------------



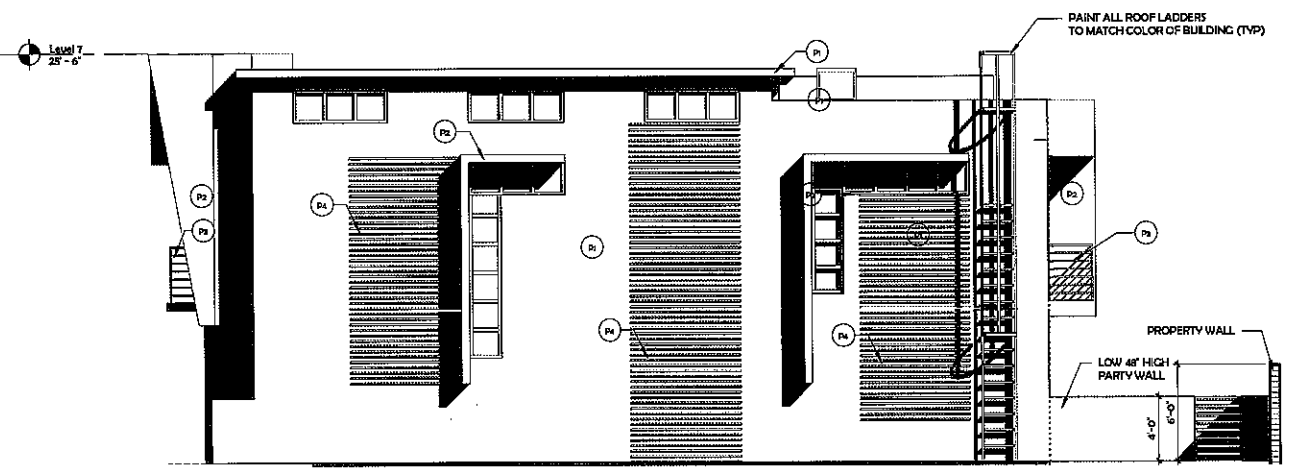
4 ENLARGED APARTMENT FRONT ELEVATION (UNIT A)
 3/16" = 1'-0"



3 ENLARGED APARTMENT REAR ELEVATION (UNIT A)
 3/16" = 1'-0"



1 LEFT SIDE ELEVATION (UNIT A)
 3/16" = 1'-0"



2 RIGHT SIDE ELEVATION (UNIT A)
 3/16" = 1'-0"

FINISH LEGEND	
EXTERIOR FINISHES:	
(P1)	SMOOTH TEXTURED STUCCO - MATCH COLOR TO BENJAMIN MOORE SNOW WHITE 3003-10
(P2)	SMOOTH TEXTURED STUCCO - MATCH COLOR TO BENJAMIN MOORE SEA FINE AG-17
(P3)	CLEAR ANODIZED DECORATIVE ALUMINUM BALCONY REFER TO APPROVED SHOP DRAWINGS
(P4)	WOOD SLATS OVER SMOOTH STUCCO
(P5)	UTILITY VENTS, EXHAUSTS, FRESH AIR
(P6)	STUCCO ON CHU LOW WALL

NOTE: VERIFY ALL FINISH SPECIFICATIONS W/ ARCHITECT PRIOR TO FINAL SELECTION

NEW TOWNHOUSES FOR:
DANIA OAKS TOWNHOMES
 5443 SW 40TH AVENUE

- REVIEW SET
- PRELIMINARY
- NOT FOR CONSTRUCTION
- CIVIL/PLN PERMIT SET
- PERMIT SET
- BID SET
- CONSTRUCTION SET

SUBMITTAL DATE: 06-24-2015

DRAWN BY:
 Author

CHECKED BY:
 ART SKLAR

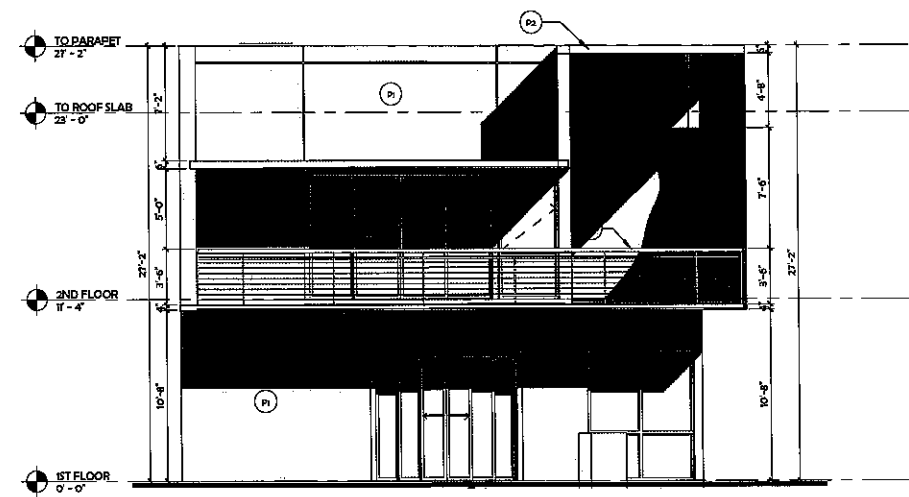
TYPICAL BREAKDOWN

A3.1

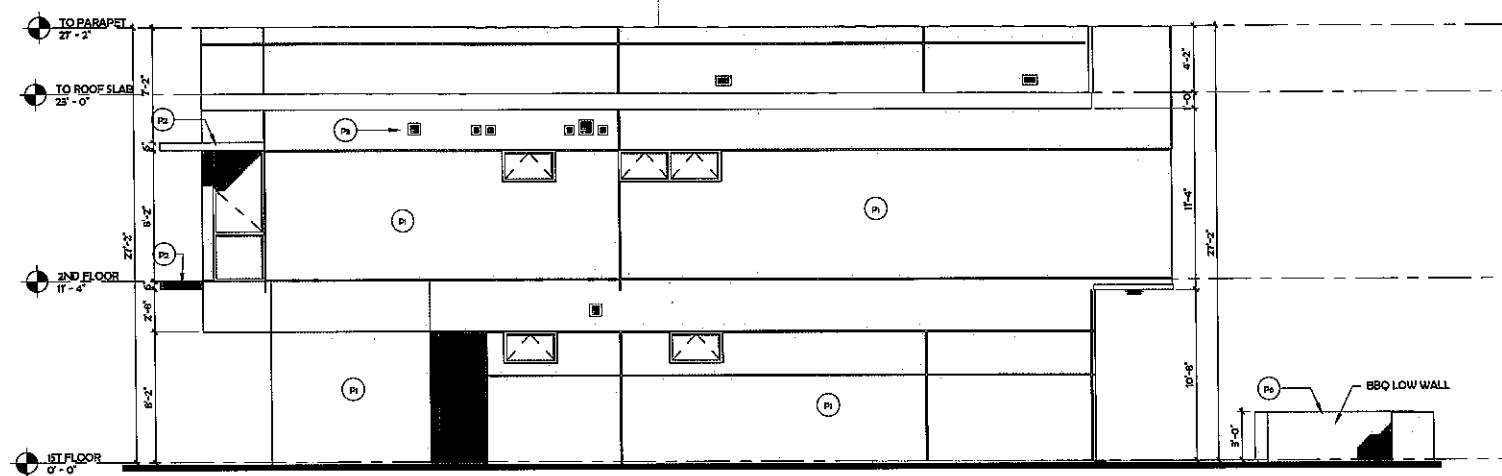
PROJECT #: 12-002

DATE: 07-25-14

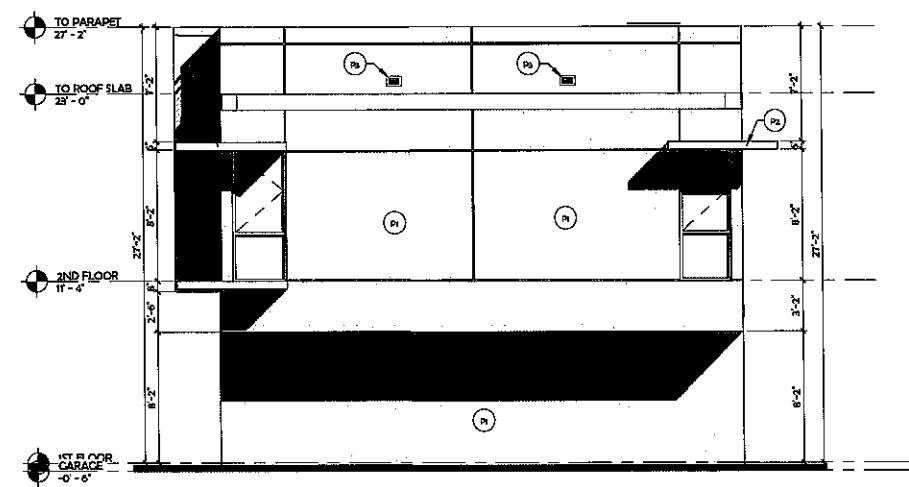
REVISIONS



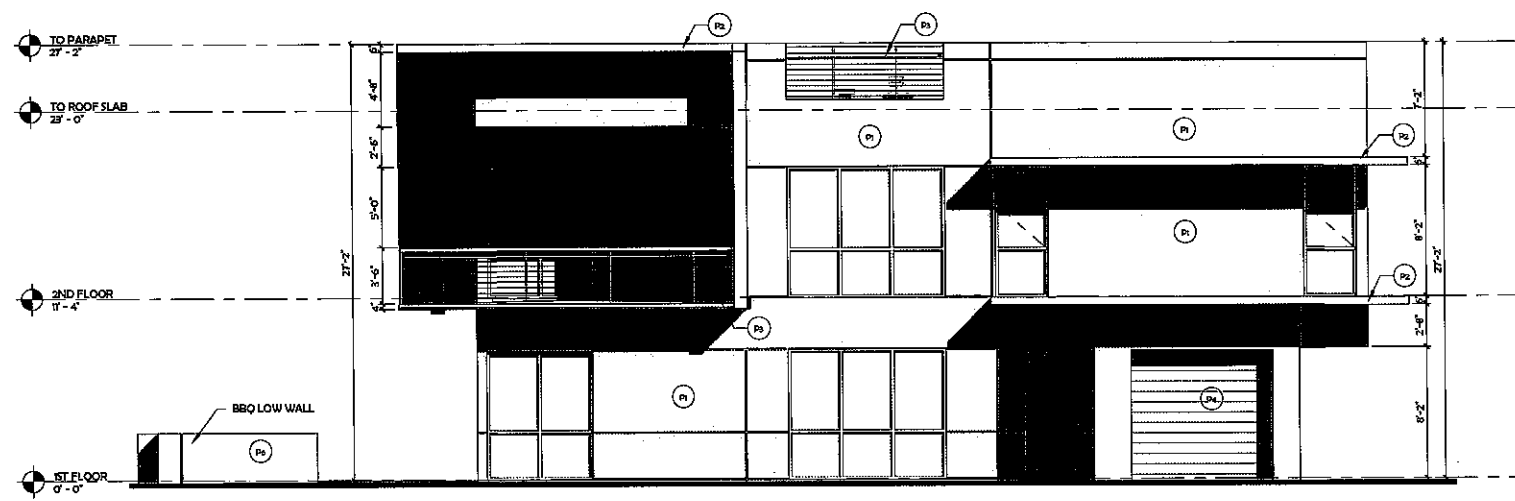
4 SINGLE FAMILY HOUSE LEFT SIDE ELEVATION
3/16" = 1'-0"



2 SINGLE FAMILY HOUSE REAR ELEVATION
3/16" = 1'-0"



3 SINGLE FAMILY HOUSE RIGHT SIDE ELEVATION
3/16" = 1'-0"



1 SINGLE FAMILY HOUSE FRONT ELEVATION
3/16" = 1'-0"

FINISH LEGEND	
EXTERIOR FINISHES	
P1	SMOOTH TEXTURED STUCCO- MATCH COLOR TO BENJAMIN MOORE, SNOW WHITE 2222-70
P2	SMOOTH TEXTURED STUCCO- MATCH COLOR TO BENJAMIN MOORE, SSA PINE AC-17
P3	CLEAR ANODIZED DECORATIVE ALUMINAL SAILING-REFER TO APPROVED SHOP DRAWINGS
P4	WOOD SLATS OVER SMOOTH STUCCO
P5	UTILITY VENTS, BRANUITS, FRESH AIR
P6	STUCCO ON CMU LOW WALL

NOTE: VERIFY ALL FINISH SPECIFICATIONS W/ ARCHITECT PRIOR TO FINAL SELECTION

NEW TOWNHOUSES FOR
DANIA OAKS TOWNHOMES
9405 SW 40TH AVENUE

- REVIEW SET
- PRELIMINARY
- NOT FOR CONSTRUCTION
- DRY RUN PERMIT SET
- PERMIT SET
- BID SET
- CONSTRUCTION SET

SUBMITTAL DATE: 06-24-2015

DRAWN BY:
Author

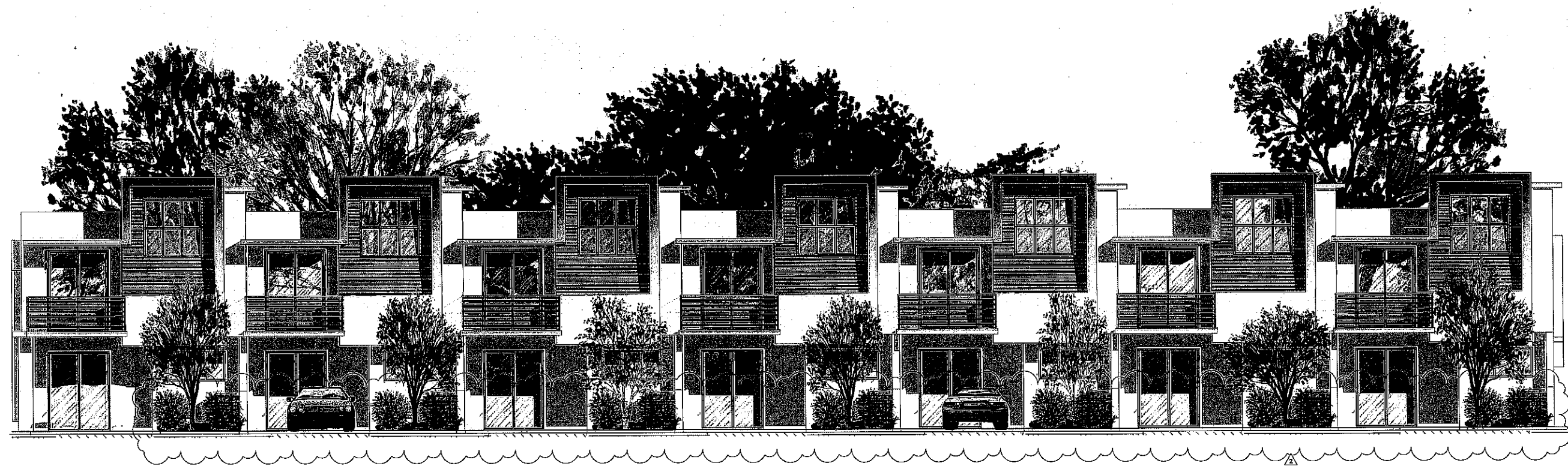
CHECKED BY:
ARI SKLAR

TYPICAL ELEVATIONS

A3.2

PROJECT #: 12-002

DATE: 07-29-14



NEW TOWNHOUSES FOR
DANIA OAKS TOWNHOMES
 3445 SW 40TH AVENUE

- REVIEW SET
 - PRELIMINARY
 - NOT FOR CONSTRUCTION
 - CIVIL/PLUMB PERMIT SET
 - PERMIT SET
 - BID SET
 - CONSTRUCTION SET
- SUBMITTAL DATE: 04-24-2015

DRAWN BY
 Author
 CHECKED BY
 ARI SKLAR

ILLUSTRATION COLOR

A3.3

PROJECT #: 12-002

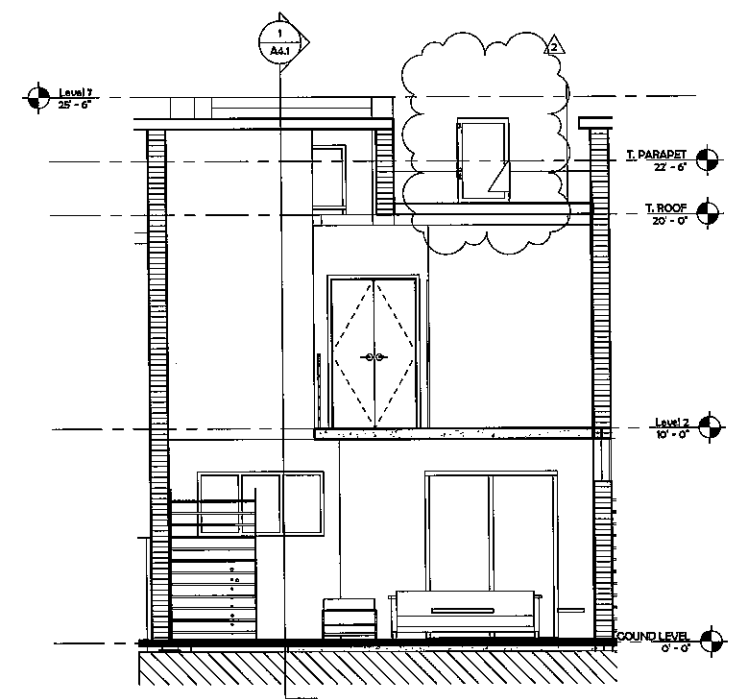
DATE: 07-25-14

REVISIONS

1	06-20-14	17 REVIEW COMMENTS
---	----------	--------------------



1 SECTION A-A (UNIT A)
1/4" = 1'-0"



2 SECTION B-B (UNIT A)
1/4" = 1'-0"

NEW TOWNHOUSE FOR:
DANIA OAKS TOWNHOMES
3445 SW 40TH AVENUE

- REVIEW SET
- PRELIMINARY
- NOT FOR CONSTRUCTION
- CIVIL PLAN PERMIT SET
- PERMIT SET
- BID SET
- CONSTRUCTION SET

SUBMITTAL DATE: 06-24-2015

DRAWN BY:
Author
CHECKED BY:
ARI SKLAR

SECTION SHEET A

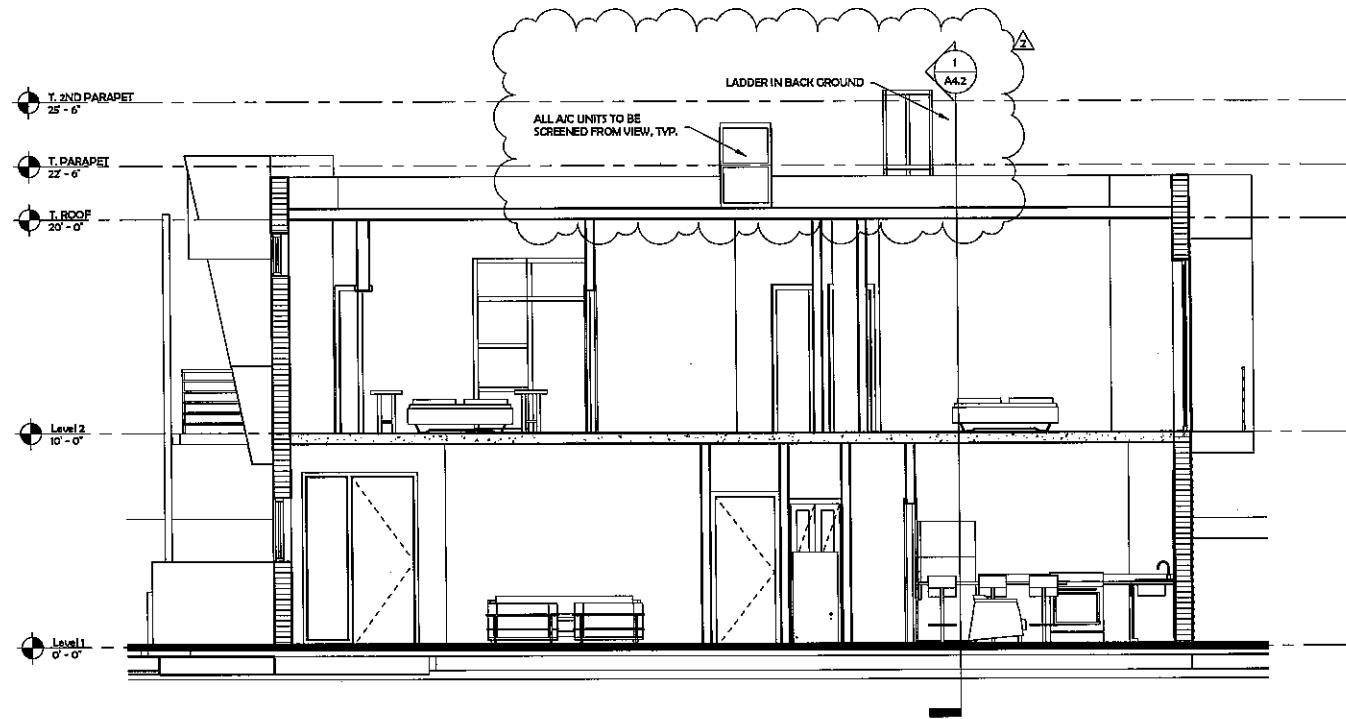
A4.1

PROJECT #: 12-002

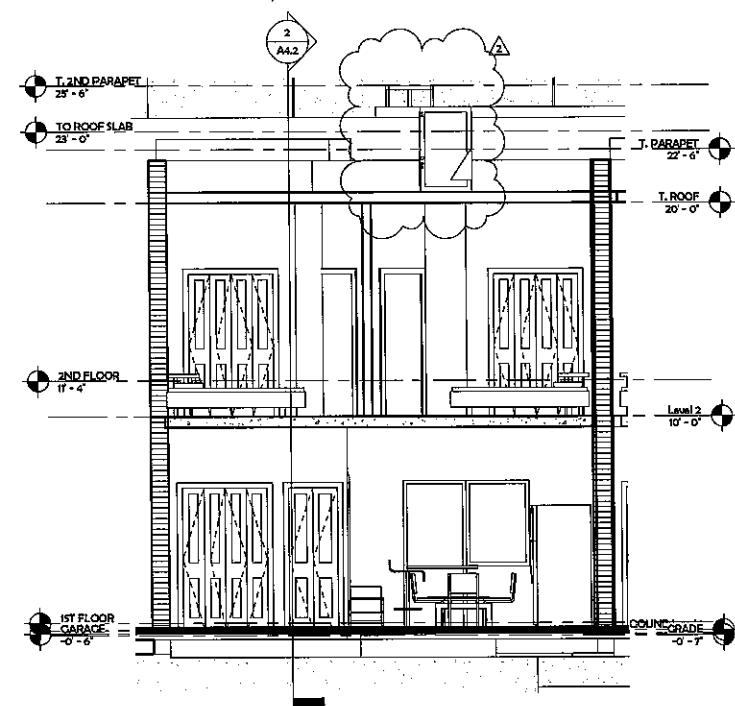
DATE: 07-25-14

REVISIONS

2. 06-08-15 SP REVISION COMMENTS



2 SECTION B-B (UNIT B)
1/4" = 1'-0"



1 SECTION A-A (UNIT B)
1/4" = 1'-0"

NEW TOWNHOUSES FOR
DANIA OAKS TOWNHOMES
5403 SW 40TH AVENUE

- REVIEW SET
 - PRELIMINARY
 - NOT FOR CONSTRUCTION
 - DRY RUN PERMIT SET
 - PERMIT SET
 - BID SET
 - CONSTRUCTION SET
- SUBMITTAL DATE: 06-24-2015

DRAWN BY:
Author

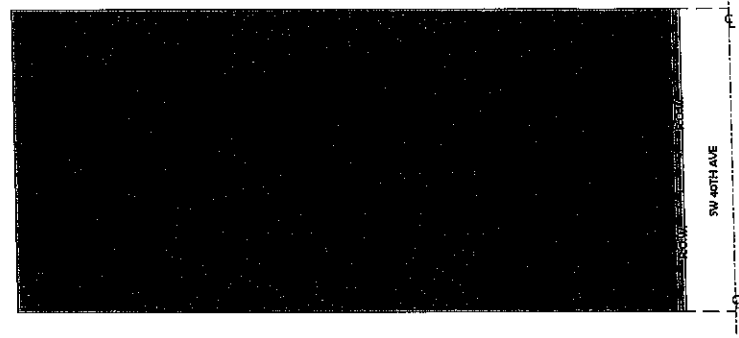
CHECKED BY:
ARI SKLAR

SECTIONS SHEET B

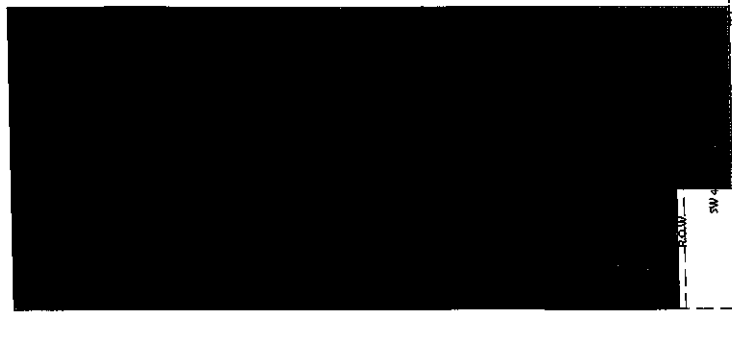
A4.2

PROJECT #: 12-002

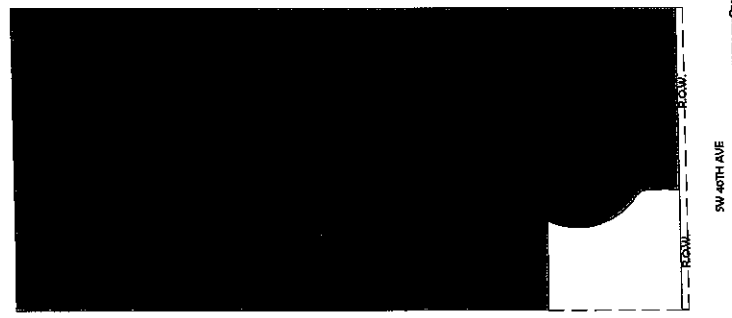
DATE: 07-28-14



(O) AREA BREAKDOWN LEGEND
 ORIGINAL SITE 101,485.41 SF 2.33 ACRES



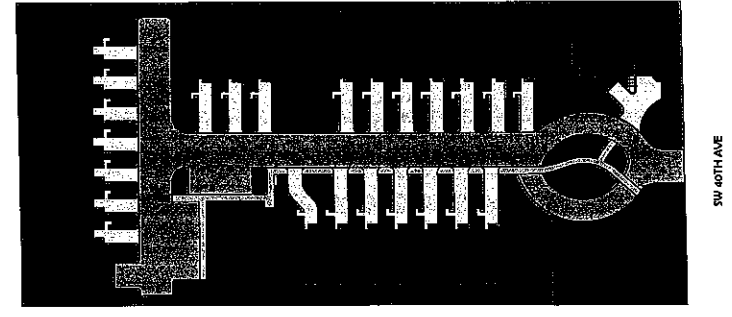
(A) AREA BREAKDOWN LEGEND
 GROSS (USED FOR DENSITY) 98,963.41 SF 2.27 ACRES



(B) AREA BREAKDOWN LEGEND
 NET 93,815.40 SF 2.15 ACRES



(C) AREA BREAKDOWN LEGEND
 PARK AREA 6,607.01 SF .15 ACRES



PERVIOUS/IMPERVIOUS BREAKDOWN LEGEND		
CATEGORY	SF.	% OF SITE
■ BUILDING FOOT PRINT (IMPERVIOUS AREA)	23,714.85 SF	25.28%
▣ PAVED VEHICULAR STREET (IMPERVIOUS AREA)	16,922.22 SF	18.04%
▤ PEDESTRIANS WALKWAYS & DRIVEWAYS (IMPERVIOUS AREA)	12,214.24 SF	13.02%
■ LANDSCAPE AREA (PERVIOUS AREA)	40,964.09 SF	43.66%
■ PUBLIC PARK AREA	6,607.01 SF	.15 ACRES
TOTAL AREA W/ OUT PARK	93,815.40 SF	100%

REVISIONS

1. 06-24-14 SP REVIEW COMMENTS

NEW TOWNHOUSES FOR:
DANIA OAKS TOWNHOMES
 9461 SW 40TH AVENUE

- REVIEW SET
- PRELIMINARY
- NOT FOR CONSTRUCTION
- DRIVEN PERMIT SET
- PERMIT SET
- BID SET
- CONSTRUCTION SET

SUBMITTAL DATE: 06-24-2014

DRAWN BY:
 Author
 CHECKED BY:
 ARI SKLAR

COLOR AMBAS

CA.1

PROJECT #: 12-002

DATE: 07-23-14

1 COLORED AREA BREAKDOWN PLAN Copy 1
 1" = 60'-0"

LEGEND

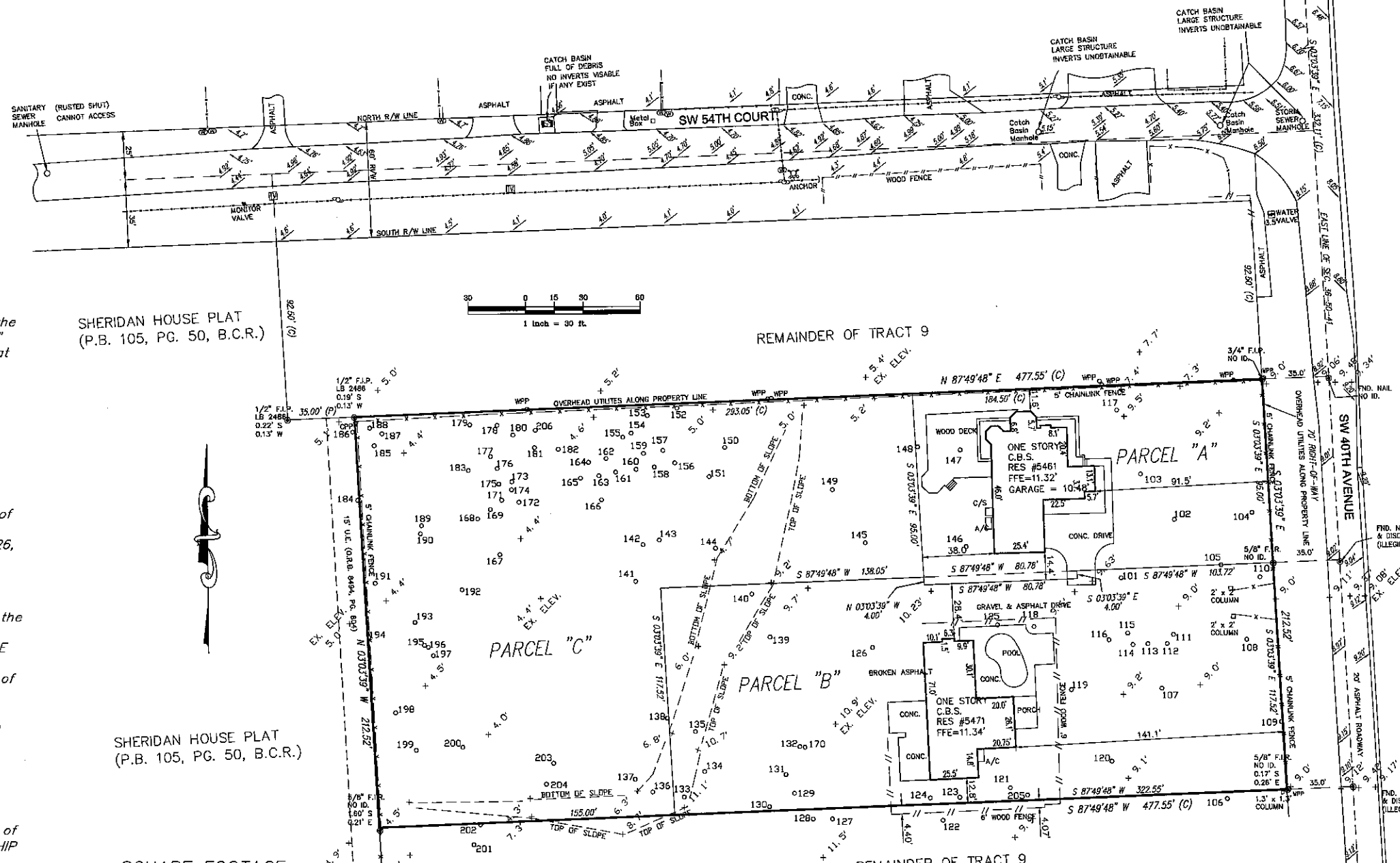
A/C = Air Conditioner
 B.V. = Beach Veneer
 C.B.S. = Concrete Block Structure
 D.W.H. = Driveway
 D.C. = Deck
 D.O. = Oak Outlet
 (C) = Calculated
 E = Electric Line
 G.C.M. = Concrete
 G.E. = Drainage Easement
 (S) = Sewer
 A = Alley
 E.L. = Elevation
 F.F. = Fresh Water
 F.D.H. = Found Drill Hole
 F.I.P. = Found Iron Pipe
 F.R. = Found Road
 F.W. = Found Well
 F.M.D. = Found Mail & Disc
 F.M.H. = Found Mail & Hub
 F.P.L. = Found Power & Light
 F.P.M.H. = Found Parker Meter Hole
 I.D. = Identification
 I.E. & E.E. = Egress Easement & Egress Easement
 L = Air Distance
 L.A.C. = Lake Access Easement
 L.M.E. = Lake Maintenance Easement
 (M) = Measured
 N/A = Not Applicable
 N.C.D. = National Geodetic Control Station
 D.R.E. = District Record Book
 O.A. = On Line
 O.S. = Offset
 (P) = Plat
 P.B. = Plat Book
 P.C. = Point of Curvature
 P.C. = Page
 P.O.B. = Point of Beginning
 P.O.C. = Point of Commencement
 (R) = Record
 R = Radius
 R/W = Right of Way
 U.C. = Utility Covered
 V.C. = Valley Cutler
 x 600 = Elevation Spot

SYMBOL

--- DRAINAGE LINE (24)
 --- CHAIN LINK FENCE (CLF)
 --- WOOD FENCE (WF)
 --- METAL FENCE (MF)
 --- WIRE FENCE (WRF)

CERTIFIED TO:
 1. CITY OF DANIA BEACH
 2. DANIA COVES 18, LLC
 3. CASEY 18 DEVELOPMENT GROUP LLC
 4. BROWARD COUNTY

BOUNDARY SURVEY



LEGAL DESCRIPTION:

PARCEL "A"

A Parcel described as the South 99.00 feet of the North 431.03 feet of the West 184.50 feet of the East 219.50 feet of TRACT 9, "NEWMANS SURVEY" OF SECTION 36, TOWNSHIP 50 SOUTH, RANGE 41 EAST, as recorded in Plat Book 2, Page 26, of the Public Records of Miami-Dade County, Florida, LESS the South 4.00 feet of the East 103.72 thereof.

PARCEL "B"

A Portion of Tract 9, Section 36, Township 50 South, Range 41 East, Broward County, Florida, and more particularly described as follows:

The South 117.52 feet of the North 544.55 feet of the West 322.55 feet of the East 357.55 feet of TRACT 9, "NEWMANS SURVEY" OF SECTION 36, TOWNSHIP 50 SOUTH, RANGE 41 EAST, as recorded in Plat Book 2, Page 26, of the Public Records of Miami-Dade County, Florida;

LESS AND EXCEPT THE FOLLOWING:

Commence at the most Northeasterly corner of the South 117.52 feet of the North 544.55 feet of the West 322.55 feet of the East 357.55 feet of TRACT 9, "NEWMANS SURVEY" OF SECTION 36, TOWNSHIP 50 SOUTH, RANGE 41 EAST, as recorded in Plat Book 2, Page 26, of the Public Records of Miami-Dade County, Florida; Thence South 87°49'49" West for a distance of 103.72 feet to the Point of Beginning; Thence South 03°03'39" East, a distance of 4.00 feet; Thence South 87°49'48" West, a distance of 80.78 feet; Thence North 03°03'39" West, a distance of 4.00 feet; Thence North 87°49'48" East, a distance of 80.78 feet to the Point of Beginning.

PARCEL C

The South 212.52 feet of the North 544.55 feet of the West 293.05 feet of the East 512.55 feet of TRACT 9, "NEWMANS SURVEY" OF SECTION 36, TOWNSHIP 50 SOUTH, RANGE 41 EAST, according to the Plat thereof, as recorded in Plat Book 2, Page 26, of the Public Records of Miami-Dade County, Florida, LESS the South 117.52 feet of the East 138.05 thereof.

Said lands situate, lying and being in Broward County, Florida.

SHERIDAN HOUSE PLAT
(P.B. 105, PG. 50, B.C.R.)

SHERIDAN HOUSE PLAT
(P.B. 105, PG. 50, B.C.R.)

SQUARE FOOTAGE
 101,485 SQ. FT.
 2.329 ACRES

101 30" OAK	117 10" UNKNOWN	132 12" PALM	148 15" OAK	164 9" PALM	179 CLUSTER/UNKNOWN
102 28" OAK	118 6" OAK	133 24" UNKNOWN	149 24" OAK	165 13" PALM	180 8" POINCIANA
103 LARGE FIGUS	119 16" OAK	134 16" UNKNOWN	150 52" OAK	166 20" POINCIANA	181 7" POINCIANA
104 14" SHEFF	120 24" OAK	135 MASSIVE OAK	151 5" PALM	167 6" OAK	182 6" POINCIANA
105 TWIN 28" OAKS	121 16" OAK	136 16" OAK	152 10" MAGNOLIA	168 6" PALM	183 14" POINCIANA
106 36" OAK	122 16" OAK	137 24" OAK	153 10" MAGNOLIA	169 8" PALM	184 24" OAK
107 30" OAK	123 15" OAK	138 8" UNKNOWN	154 18" POINCIANA	170 23" OAK	185 15" OAK
108 32" OAK	124 16" OAK	139 30" OAK	155 18" POINCIANA	171 6" PALM	186 30" OAK
109 28" OAK	125 5" OAK	140 16" UNKNOWN	156 5" PALM	172 8" PALM	187 8" OAK
110 24" OAK	126 25" OAK	141 28" UNKNOWN	157 7" PALM	173 7" POINCIANA	188 8" OAK
111 8" COCO	127 18" OAK	142 15" UNKNOWN	158 6" PALM	174 8" PALM	189 7" POINCIANA
112 8" COCO	128 4" OAK	143 24" UNKNOWN	159 6" PALM	175 6" PALM	190 7" PALM
113 10" COCO	129 18" UNKNOWN	144 14" UNKNOWN	160 7" PALM	176 8" PALM	191 LARGE FIGUS
114 8" COCO	130 23" OAK	145 MASSIVE FIGUS	161 7" PALM	177 8" POINCIANA	192 8" OAK
115 8" COCO	131 14" UNKNOWN	146 15" UNKNOWN	162 8" PALM	178 26" UNKNOWN	193 10" OAK
116 30" OAK	132 12" PALM	147 MASSIVE FIGUS	163 7" PALM	179 CLUSTER/UNKNOWN	194 12" OAK
					195 9" OAK
					196 9" OAK
					197 15" OAK
					198 LARGE FIGUS
					199 7" OAK
					200 15" UNKNOWN
					201 30" UNKNOWN
					202 12" UNKNOWN
					203 20" UNKNOWN
					204 7" UNKNOWN
					205 14" OAK

BOUNDARY SURVEY		SCALE: 1" = 30'	NOTES/REVISIONS	GENERAL NOTES	CERTIFICATION
COMMUNITY PANEL NO. 120116 0305 F	FLOOD ZONE: AE	DATE OF PLAN: 6/18/1992	DATE OF SURVEY: 5/29/2015	DATE OF SURVEY: 5/29/2015	DATE OF SURVEY: 5/29/2015
DATE OF PLAN: 6/18/1992	BASE FLOOD E.L.: 8.0'	BRONKHORST REFERENCED: BROWARD COUNTY ENGINEERING DEPARTMENT	FIELD BOOK: FOLDER	PAGE: N/A	PARTY CHIEF: ENNIE
PROPERTY ADDRESS: 5401 & 5471 SW 40TH AVENUE, DANIA BEACH, FL 33314					

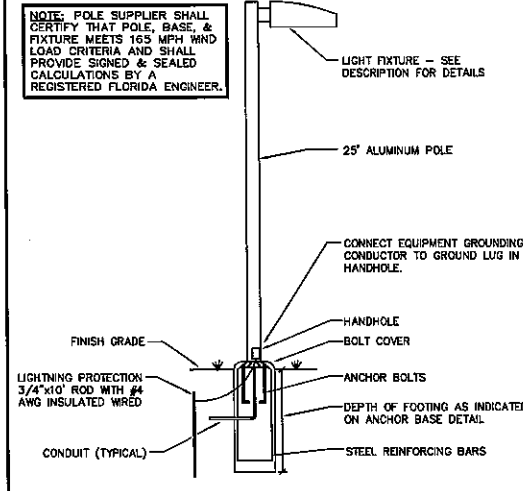
FOUNDED 1993	BASELINE ENGINEERING AND LAND SURVEYING, INC.	1400 N.W. 1ST COURT	BOCA RATON, FLORIDA 33432	TEL: 561-991-0700	FAX: 561-991-0700



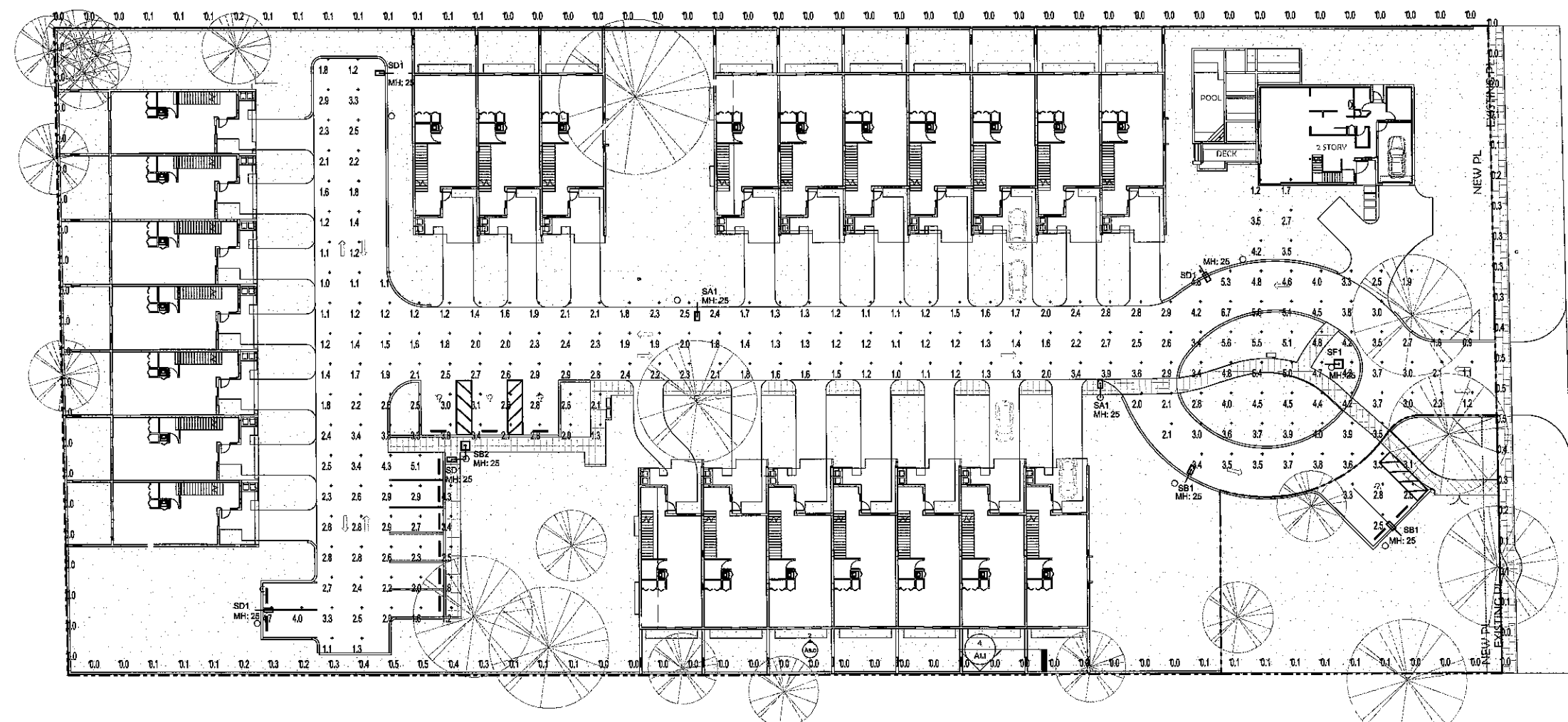
Luminaire Schedule			
Label	Description	LLF	Lum. Lumens
SA1	COOPER R GLEONAE-02-LED-E1-SL2 / MTD AT 25' AFG	0.900	15235
SB1	COOPER R GLEONAE-02-LED-E1-SL4 / MTD AT 25' AFG	0.900	9375
SB2	COOPER R GLEONAE-03-LED-E1-SL4 / MTD AT 25' AFG	0.900	14885
SD1	COOPER R GLEONAE-03-LED-E1-SL1 / MTD AT 25' AFG	0.900	8227
SF1	COOPER R GLEONAE-03-LED-E1-SNG / MTD AT 25' AFG	0.900	18150

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	AvgrMin MaxMin
Prop Line	Illuminance	Fc	0.57	0.5	0.0	N.A. N.A.
Site	Illuminance	Fc	2.60	6.7	0.9	2.88 7.44

NOTE: POLE SUPPLIER SHALL CERTIFY THAT POLE, BASE, & FIXTURE MEETS 165 MPH WIND LOAD CRITERIA AND SHALL PROVIDE SIGNED & SEALED CALCULATIONS BY A REGISTERED FLORIDA ENGINEER.



2 TYPICAL ALUMINUM POLE DETAIL
N.T.S.



1 SITE PHOTOMETRICS PLAN
1" = 20'-0"

S.W. 40TH AVENUE

DELTA G CONSULTING ENGINEERS, INC.
707 N.E. 3rd AVE., SUITE 200
FORT LAUDERDALE, FL 33304
(954) 627-1112
CAJ00009181

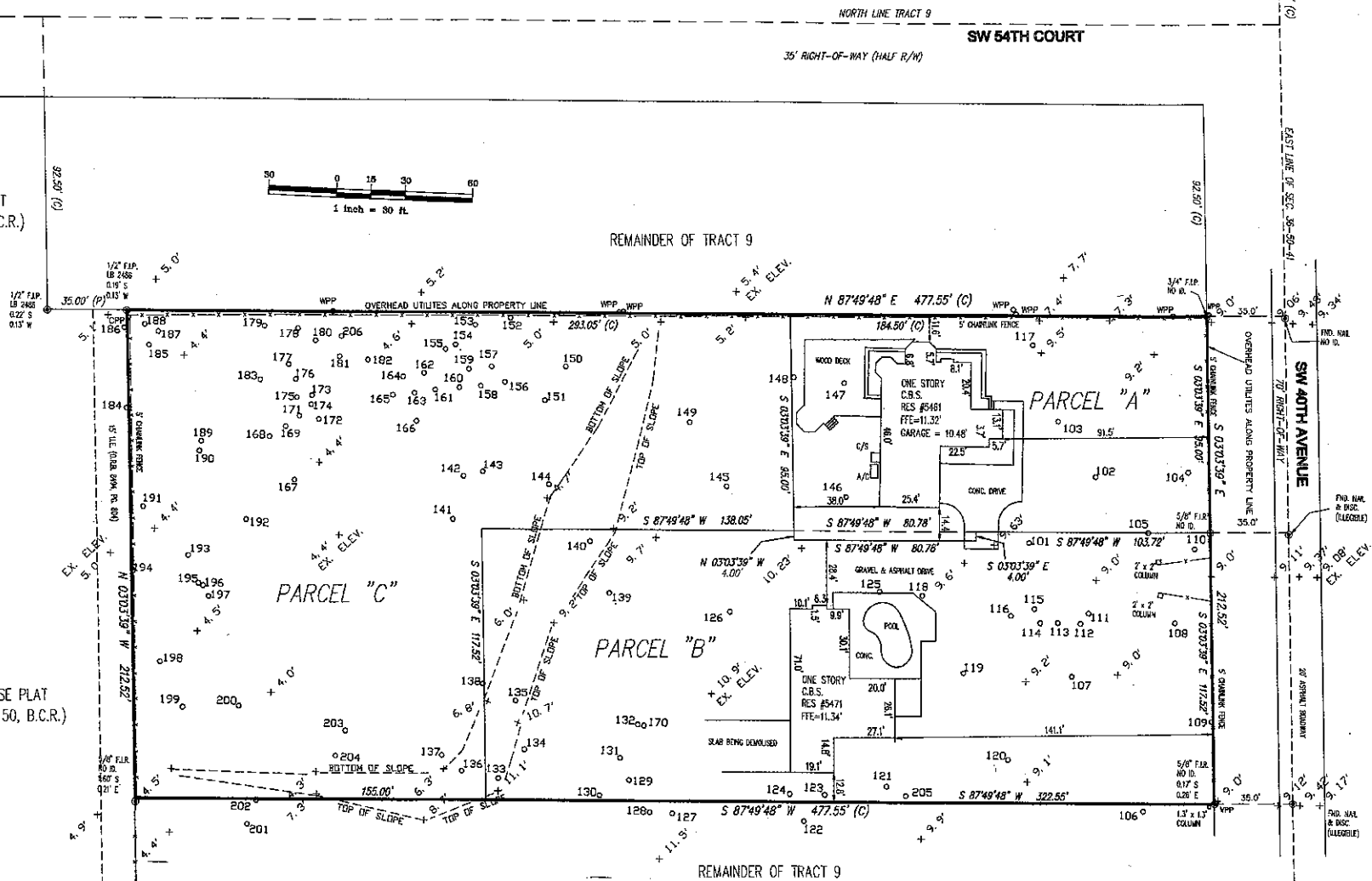
PJT. MOR: GEORGE SANJUAN GEORGE SANJUAN, P.E.
PROJECT #: 120719 FLORIDA LICENSE #46100

Existing Tree Chart

Existing tree number per survey	Botanical Common Name	DBH per survey	Canopy Square Footage	Disposition	Condition	Value of Specimen Trees to be Removed
101	Quercus sp./ Oak	30"		To remain		
102	Quercus sp./ Oak	28"	400 sf	To be removed	Poor	\$5,000
103	Ficus aurea/ Strangler Fig	48"	2704 sf	To be removed	Fair	\$25,000
104	Scheffera actinophylla/ Scheffera	14"	144 sf	To be removed		
105	Quercus sp./ Oak	28 28"		To remain		
106	Quercus sp./ Oak	38"		To remain adjacent property		
107	Quercus sp./ Oak	30"		To remain		
108	Quercus sp./ Oak	32"		To remain		
109	Quercus sp./ Oak	28"		To remain		
110	Quercus sp./ Oak	24"		To remain		
111	Cocos nucifera/ Coconut palm	8"	100 sf	To be removed	Fair	
112	Cocos nucifera/ Coconut palm	8"	100 sf	To be removed	Fair	
113	Cocos nucifera/ Coconut palm	10"	100 sf	To be removed	Fair	
114	Cocos nucifera/ Coconut palm	8"	100 sf	To be removed	Fair	
115	Cocos nucifera/ Coconut palm	8"	100 sf	To be removed	Fair	
116	Quercus sp./ Oak	30"		To remain		
117	Bischofia javonica/ Bischofia	10"	1024 sf	To be removed	Fair	
118	Quercus sp./ Oak	0"	144 sf	To be removed	Fair	
119	Quercus sp./ Oak	16"	876 sf	To be removed	Poor	
120	Quercus sp./ Oak	24"		To remain		
121	Quercus sp./ Oak	18"	900 sf	To be removed	Fair	
122	Quercus sp./ Oak	16"	900 sf	To be removed	Fair	
123	Quercus sp./ Oak	15"	825 sf	To be removed	Fair	
124	Quercus sp./ Oak	16"	825 sf	To be removed	Fair	
125	Quercus sp./ Oak	8"	40 sf	To be removed	Fair	
126	Quercus sp./ Oak	25"	848 sf	To be removed	Poor	\$6000
127	Quercus sp./ Oak	18"		To remain adjacent property		
128	Quercus sp./ Oak	4"	36 sf	To be removed	Fair	
129	Terminalia catappa/ Tropical Almond	17"	400 sf	To be removed	Poor	
130	Quercus sp./ Oak	23"		To remain		
131	Syzygium cumini/ Jambolan Plum	14"	400 sf	To be removed	Fair	
132	Syzygium cumini/ Jambolan Plum	12"	144 sf	To be removed	Fair	
133	Quercus sp./ Oak	24"		To remain		
134	Bischofia javonica/ Bischofia	18"	400 sf	To be removed	Fair	
135	Quercus sp./ Oak	30"		To remain		
136	Quercus sp./ Oak	18"	400 sf	To be removed	Fair	
137	Quercus sp./ Oak	24"		To remain		
138	Carica papaya/ Papaya	8"	36 sf	To be removed	Fair	
139	Quercus sp./ Oak	30"		To remain		
140	Bischofia javonica/ Bischofia	16"	400 sf	To be removed	Fair	
141	Syzygium cumini/ Jambolan Plum	28"	900 sf	To be removed	Fair	No value
142	Syzygium cumini/ Jambolan Plum	15"	400 sf	To be removed	Fair	No value
143	Syzygium cumini/ Jambolan Plum	24"	2500 sf	To be removed	Fair	No value
144	Bischofia javonica/ Bischofia	14"	400 sf	To be removed	Fair	
145	Ficus aurea/ Strangler Fig	60"	3600 sf	To be removed	Fair	\$40,000
146	Persea americana/ Avocado	15"	400 sf	To be removed	Poor	
147	Ficus aurea/ Strangler Fig	48"	1600 sf	To be removed	Poor	\$25,000
148	Quercus sp./ Oak	15"	400 sf	To be removed	Fair	
149	Quercus sp./ Oak	24"	1296 sf	To be removed	Poor	\$5000
150	Quercus sp./ Oak	52"		To remain		
151	Psychosperma elegans/ Solitaire palm	5"	64 sf	To be removed	Fair	
152	Magnolia grandiflora/ Magnolia	10"	144 sf	To be removed	Fair	
153	Magnolia grandiflora/ Magnolia	10"	144 sf	To be removed	Fair	
154	Delonix regia/ Royal poinciana	18"	1200 sf	To be removed	Poor	\$2000
155	Delonix regia/ Royal poinciana	16"	1000 sf	To be removed	Poor	\$2000
156	Veitchia sp./ Veitchia Palm	5"	144 sf	To be removed	Fair	
157	Veitchia sp./ Veitchia Palm	7"	144 sf	To be removed	Fair	
158	Veitchia sp./ Veitchia Palm	6"	144 sf	To be removed	Fair	
159	Veitchia sp./ Veitchia Palm	6"	144 sf	To be removed	Fair	
160	Veitchia sp./ Veitchia Palm	7"	144 sf	To be removed	Fair	
161	Veitchia sp./ Veitchia Palm	7"	144 sf	To be removed	Fair	
162	Veitchia sp./ Veitchia Palm	8"	144 sf	To be removed	Fair	
163	Veitchia sp./ Veitchia Palm	7"	144 sf	To be removed	Fair	
164	Veitchia sp./ Veitchia Palm	8"	144 sf	To be removed	Fair	
165	Veitchia sp./ Veitchia Palm	13"	144 sf	To be removed	Fair	
166	Delonix regia/ Royal Poinciana	20"	1600 sf	To be removed	Poor	\$3000
167	Quercus sp./ Oak	6"	81 sf	To be removed	Fair	
168	Veitchia sp./ Veitchia Palm	6"	144 sf	To be removed	Fair	
169	Veitchia sp./ Veitchia Palm	8"	144 sf	To be removed	Fair	
170	Quercus sp./ Oak	23"	900 sf	To be removed	Fair	\$5000
171	Veitchia sp./ Veitchia Palm	6"	144 sf	To be removed	Fair	
172	Veitchia sp./ Veitchia Palm	8"	144 sf	To be removed	Fair	
173	Delonix regia/ Royal Poinciana	7"	400 sf	To be removed	Poor	
174	Veitchia sp./ Veitchia Palm	8"	144 sf	To be removed	Fair	
175	Veitchia sp./ Veitchia Palm	8"	144 sf	To be removed	Fair	
176	Veitchia sp./ Veitchia Palm	8"	144 sf	To be removed	Fair	

SHERIDAN HOUSE PLAT
P.B. 105, PG. 50, B.C.R.)

SHERIDAN HOUSE PLAT
(P.B. 105, PG. 50, B.C.R.)



177	Delonix regia/ Royal Poinciana	8"	529 sf	To be removed	Fair	
178	Syzygium cumini/ Jambolan Plum	28"	400 sf	To be removed	Fair	No value
179	Quercus sp./ Oak	8"		To remain		
180	Delonix regia/ Royal Poinciana	8"	400 sf	To be removed	Fair	
181	Delonix regia/ Royal Poinciana	7"	324 sf	To be removed	Fair	
182	Delonix regia/ Royal Poinciana	6"	324 sf	To be removed	Fair	
183	Delonix regia/ Royal Poinciana	14"	576 sf	To be removed	Fair	
184	Quercus sp./ Oak	24"		To remain adjacent property		
185	Quercus sp./ Oak	15"		To remain		
186	Quercus sp./ Oak	30"		To remain adjacent property		
187	Quercus sp./ Oak	8"		To remain		
188	Quercus sp./ Oak	6"		To remain		
189	Delonix regia/ Royal Poinciana	7"		To be removed	Fair	
190	Veitchia sp./ Veitchia Palm	7"	144 sf	To be removed	Fair	
191	Ficus aurea/ Strangler Fig	42"	900 sf	To remain	Fair	\$30,000
192	Quercus sp./ Oak	8"	400 sf	To be removed	Fair	

193	Quercus sp./ Oak	10"		To be removed	Fair	
194	Schinus molle/ Brazilian Pepper	12"	246 sf	To be removed	Fair	
195	Quercus sp./ Oak	9"	100 sf	To be removed	Fair	
196	Quercus sp./ Oak	5"	100 sf	To be removed	Fair	
197	Quercus sp./ Oak	15"	825 sf	To be removed	Fair	
198	Ficus elastica/ Rubber Tree	42"	900 sf	To be removed	Fair	\$1000
199	Quercus sp./ Oak	7"	100 sf	To be removed	Fair	
200	Bischofia javonica/ Bischofia	15"	400 sf	To be removed	Fair	
201	Bischofia javonica/ Bischofia	30"		To remain adjacent property		
202	Bischofia javonica/ Bischofia	12"		To remain adjacent property		
203	Bischofia javonica/ Bischofia	20"	625 sf	To be removed	Fair	No value
204	Bischofia javonica/ Bischofia	7"	200 sf	To be removed	Fair	
205	Quercus sp./ Oak	14"		To remain		
206	Delonix regia/ Royal Poinciana	7"	400 sf	To be removed	Fair	

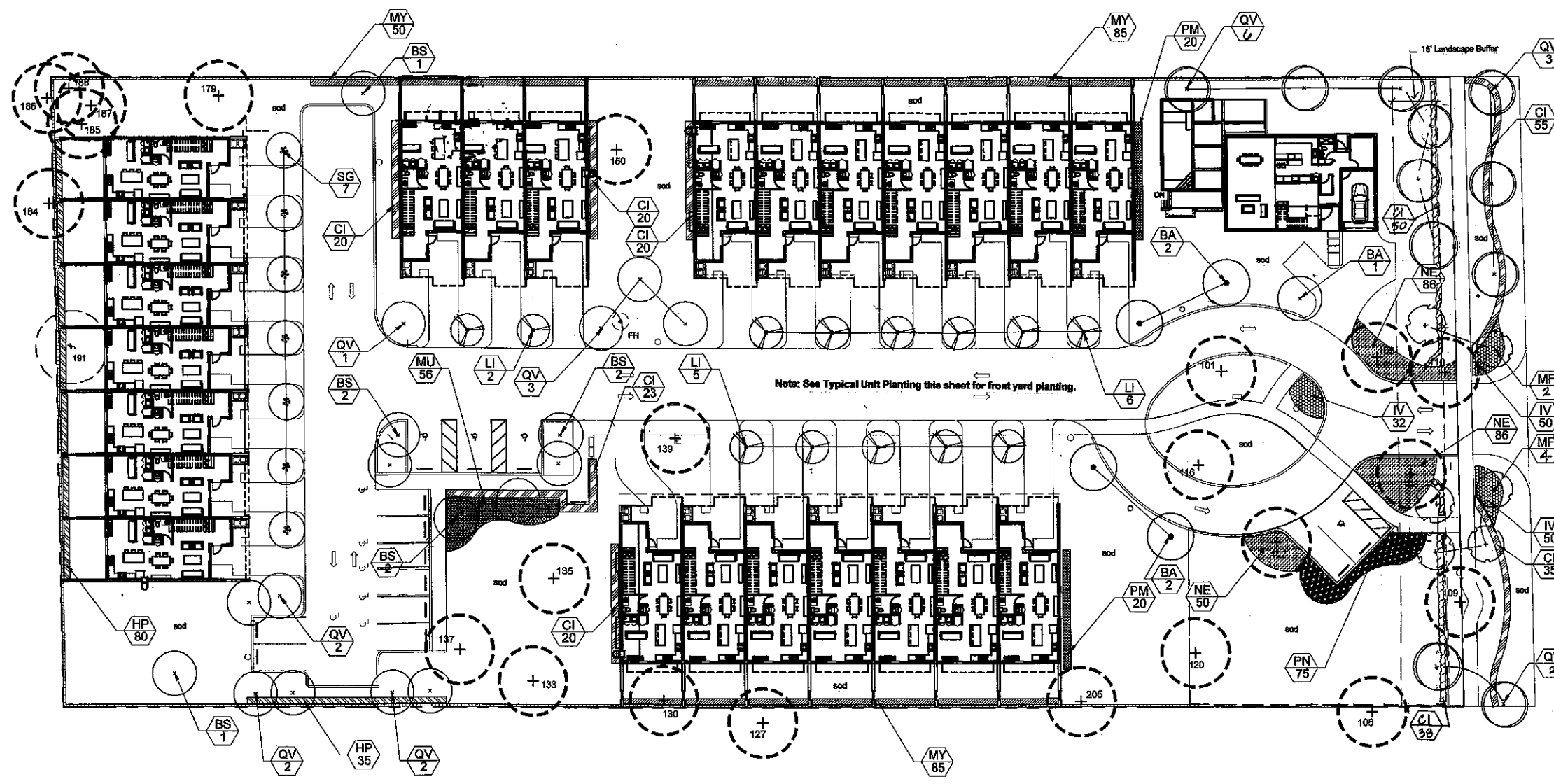
Values of specimen trees by tree trunk formula method.



1. A pre-construction meeting with the Dania Beach City Arborist is required prior to landscaping activities including removal of trees and/or installation of plant material. Call 954-364-0473 a minimum of 3 days prior to depicted start date to schedule pre-construction meeting.
2. All existing trees proposed to remain are to be separated from the limits of disturbance of the construction area by tree protection fencing and signage. The tree protection fencing shall be located at the edge of the tree protection zone as depicted on the plan or at the edge of the city-block if a tree protection zone is not designated. No material storage or construction access is permitted within the tree protection zone.
3. All existing trees shall be pruned to ANSI A-300 standards to correct structural defects.
4. A tree removal permit is required prior to removal or relocation of any tree or palm. Contact the Dania Beach City Arborist at 954-624-6805 to obtain permit information.
5. Landscape contractor shall notify Sunbrite One Call of Florida, Inc. at 1-800-432-4770 a minimum of 2 full business days prior to digging. Landscape contractor is responsible for avoiding damage to utility from plant installation.
6. Tree relocation:
 - a. Existing trees to be relocated shall be root pruned a minimum of 120 days prior to relocation.
 - b. Minimum root ball sizes shall be in accordance with ANSI standards as follows:

Caliper	Minimum Root Ball Diameter
1	24
2	32
3	42
4	54
5	66
6	78
7	90
8	102
> 8	12 (inches per inch of trunk diameter)
 - c. Transplanted trees with undamaged root balls may be rejected by the City Arborist and replacement trees may be required.
 - d. A temporary irrigation system shall be provided during and for the first 40 days after root pruning.
7. All planting must follow planting specifications and details shown on this plan.
8. Substitutions of plant species or specifications must be approved in writing by the Dania Beach City Arborist prior to use.
9. All plant material planted per this landscape plan shall be Florida Grade, #1 or better, as specified in the current edition of the Florida Department of Agriculture's *Grades and Standards for Nursery Plants*. Organic plant material shall be inspected and rejected prior to installation.
10. All sizes shown for plant material are to be considered minimums.
11. Where quantities and/or species differ between the planting plans and plant lists, the plans shall take precedence.
12. All new plant material shall be warranted by the landscape contractor for a minimum period of one year. The warranty period shall begin after acceptance of the plants by the City Arborist.
13. Plant beds to be treated with pre-emergent herbicide prior to planting.
14. 1/4" eye and beam staking and support shall be removed one year after installation.
15. No fertilizer shall be applied to newly planted trees and palms.
16. All landscape material shall be thoroughly watered at the time of planting, no dry planting permitted.
17. Landscape contractor shall be responsible for providing temporary water protection until such time as the irrigation system is operational.
18. All wire guys and/or fabric strips shall be flagged with fluorescent colored tape.
19. Mulching:
 - a. All landscape areas not covered by sod shall be covered by a minimum 5-inch layer of mulch.
 - b. A match ring with a minimum radius of 24 inches (48 inch diameter), is required around all newly installed trees and palms.
 - c. Cypress mulch shall not be used.
 - d. No mulch shall be placed touching or within six inches of the trunk of a tree or palm.
20. All newly landscaped areas shall be excavated down to a depth of 24 inches below final grade and back filled with clean debris-free soil. Existing soil may be re-used for backfilling if debris is removed and organic content is sufficient or soil is augmented with loess. Construction access shall be restricted from the landscape area after excavation and backfill is complete.
21. All landscape areas shall be finish graded such that they are a minimum of 3.5 inches below surrounding paved surfaces so as not to impede the flow of drainage into landscaped areas and to allow for a 3-foot mulch layer.

Architecture
Moyer, RLA
Architecture
9609
A0000952
REVISIONS
Revisions 3-28-14
Revisions 9-26-14
Revisions 5-6-15
Revisions 6-30-15



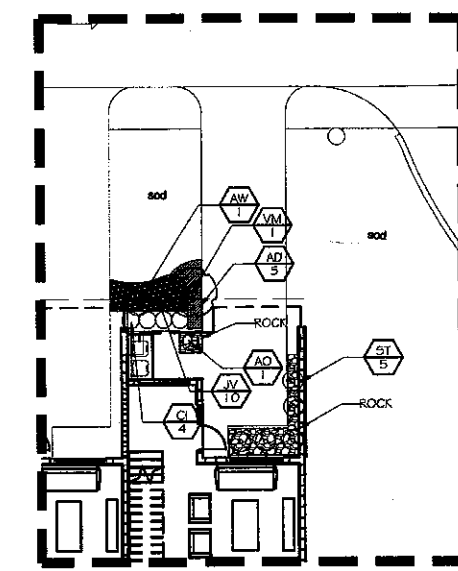
Note: See Typical Unit Planting this sheet for front yard planting.

Sym	Qty	Botanical / Common Name	Size	Notes
BA	5	Bulnesia arborea / Yerwood	12' Ht. x 5' Spr., 2" Cal	No
BS	7	Bursera simaruba / Gumbo Limbo	12' Ht. x 5' Spr., 2" Cal	Yes
LI	13	Lagerströmia indica / Tussockra / Cape Myrtle	12' Ht. x 5' Spr., 2" Cal	No
MF	6	Myrciophora fragrans / Simpson Stopper	6' Ht. x 3' Spr., 1.5" Cal.	Yes
QV	21	Quercus virginiana / Live Oak	12' Ht. x 5' Spr., 2" Cal	Yes
SG	7	Simarouba glauca / Parasola Tree	12' Ht. x 5' Spr., 2" Cal	Yes
CI	281	Chrysobalanus icaya / Coccoloba	24" x 24", 24" O.C.	Yes
HP	115	Hamelia patens 'Compacta' / Firebush	24" x 24", 24" O.C.	Yes
IV	132	Ilex vomitoria 'Stokes Dwarf' / Dwarf Ilex	12" x 12", 18" O.C.	Yes
MU	58	Muhlenbergia capillaris / Muley Grass	18" x 18", 24" O.C.	Yes
MY	220	Myrciophora fragrans / Simpson Stopper	28" x 24", 24" O.C.	Yes
NE	222	Nephrolepis exaltata / Boston Fern	12" x 12", 18" O.C.	No
PM	40	Podocarpus masonryana / Podocarpus	24" x 24", 24" O.C.	No
PN	75	Psychotria nervosa / Wild Coffee	24" x 24", 24" O.C.	Yes
Sod		St. Augustine		
Mulch		Shredded Melaleuca or Eucalyptus		

Description	Application	Calculation	Qty. Required	Qty. Provided
Right of Way Trees	1 tree/ 90 sf	212/90	7	7
Open Space Trees	1 tree/ 3000 sf	48,889 sf	161	85

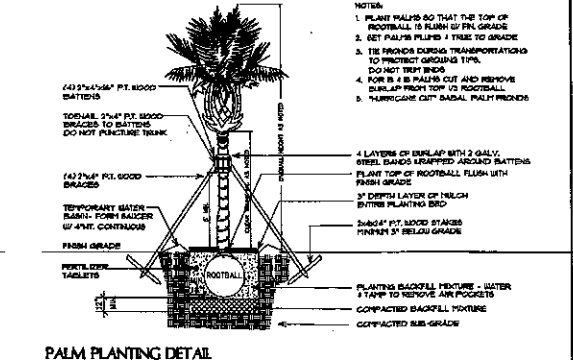
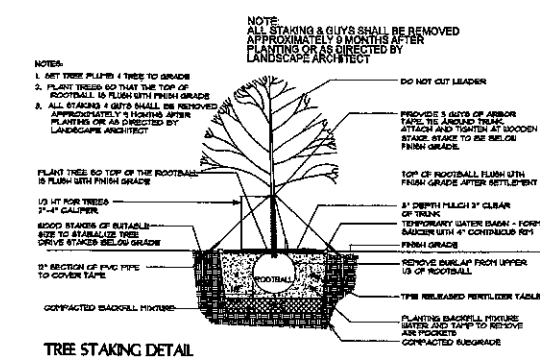
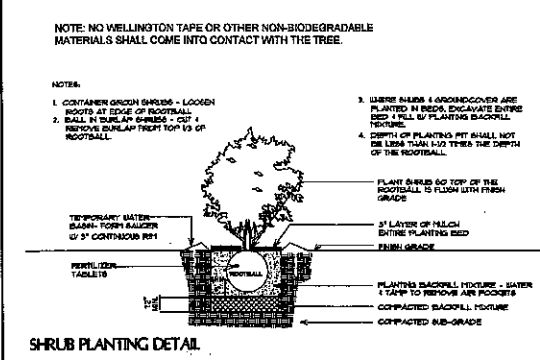
- NOTES:
 1. SOD AND IRRIGATE TO EDGE OF ROAD.
 2. TREE REMOVAL PERMIT IS REQUIRED BY CITY PRIOR TO REMOVAL OF ANY TREES ON SITE.
 3. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW WITH APPROPRIATE SHRUB MATERIAL.
 4. ALL PROPOSED TREES SHALL BE PLANTED A MINIMUM 15' FROM LIGHT POLES.

Note: All landscape areas to have irrigation with 100% coverage.
 Note: Do not plant w/in 3' of any fire hydrants.



TYPICAL UNIT FRONT PLANTING Scale 1" = 10'-00"

Sym	Qty	Botanical / Common Name	Size	Notes
VM	1	Veltheimia montgomeryana / Montgomery Palm	12'-18" OA Ht, Triple Trunk	No
Option Alt.				
CG	1	Casipoula grandifolia / Biddell Tree	12' Ht. x 5' Spr., 2" Cal.	No
AD	5	Asparagus densiflorus 'Mayesii' / Foxtail Fern	12" x 12", 24" O.C.	No
AD	1	Alcantara odorata / Silver Bromeliad	18" x 18"	No
AW	1	Anaphalis verticillata / Dogbane	24" x 24"	No
CI	4	Chrysobalanus icaya / Coccoloba	24" x 24", 24" O.C.	Yes
IV	10	Isanemum volatile / Wax Jasmine	18" x 18", 24" O.C.	No
ST	3	Sansevieria trifasciata 'Leventii' / Snake Plant	14" x 12"	No
Rock		Black Mexican Beach Pebbles	2-3 Inches	
Sod		St. Augustine		
Mulch		Shredded Melaleuca or Eucalyptus		



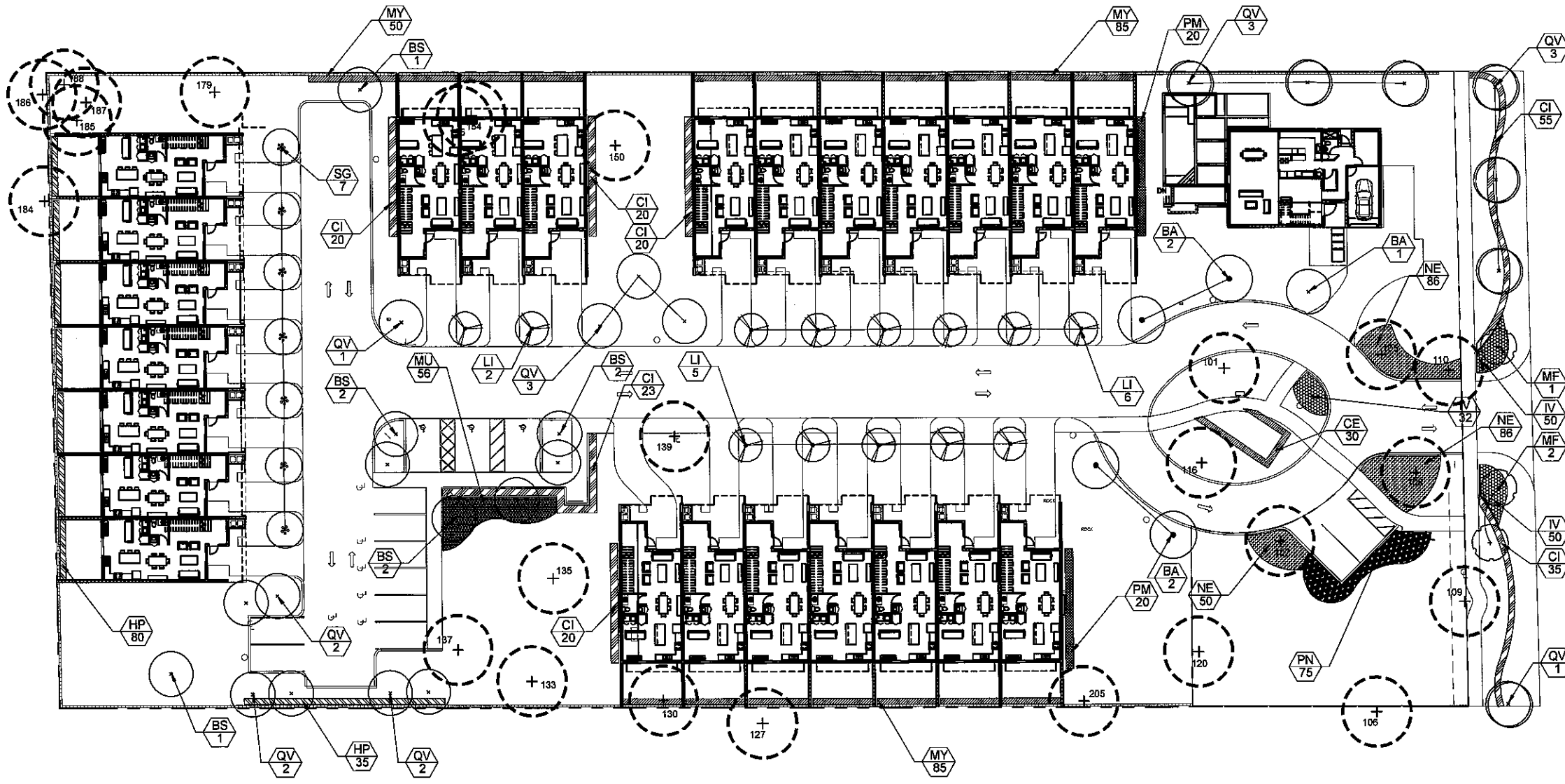
- A pre-construction meeting with the Dania Beach City Arborist is required prior to landscaping activities including removal of trees and/or installation of plant material. Call 954-924-4423 a minimum of 5 days prior to desired start date to schedule pre-construction meeting.
- All existing trees proposed to remain are to be separated from the limits of disturbance of the construction area by tree protection fencing and signage. The tree protection fencing shall be located at the edge of the tree protection zone as depicted on the plan or at the edge of the dig-line(s) if a tree protection zone is not designated. No material storage or construction access is permitted within the tree protection zone.
- All existing trees shall be pruned to ANSI A-300 standards to correct potential hazards.
- A tree removal permit is required prior to removal or relocation of any tree or palm. Contact the Dania Beach City Arborist at 954-924-6825 to obtain permit information.
- Landscape contractor shall notify Sunshine One Call of Florida, Inc. at 1-800-432-4770 a minimum of 2 full business days prior to digging. Landscape contractor is responsible for avoiding damage to utilities from plant installation.
- Tree relocations:
 - Existing trees to be relocated shall be root pruned a minimum of 120 days prior to relocation.
 - Minimum root ball sizes shall be in accordance with ANSI standards as follows:

Caliper	Minimum Root Ball Diameter
1	16
2	24
3	32
4	42
5	54
6	60
7	70
8	80
> 8	12 inches per inch of trunk diameter

 Transplanted trees with undersized root balls may be rejected by the City Arborist and replacement trees may be required.
 c. A temporary irrigation system shall be provided during and for the first 40 days after root pruning.
- All planting must follow planting specifications and details shown on the plan.
- Substitutions of plant species or specifications must be approved in writing by the Dania Beach City Arborist prior to use.
- All plant material planted per this landscape plan shall be Florida Grade #1 or better, as specified in the current edition of the Florida Department of Agriculture's Grades and Standards for Nursery Plants. Damaged plant material shall be rejected and replaced prior to installation.
- All sizes shown for plant material are to be considered minimums.
- Where quantities and/or species differ between the planting plans and plant lists, the plans shall take precedence.
- All new plant material shall be warranted by the landscape contractor for a minimum period of one year. The warranty period shall begin after acceptance of the plants by the City Arborist.
- Plant beds to be treated with pre-emergent herbicide prior to planting.
- All tree and palm staking and support shall be removed one year after installation.
- No fertilizer shall be applied to newly planted trees and palms.
- All landscape material shall be thoroughly watered at the time of planting, no dry planting permitted.
- Landscape contractor shall be responsible for providing temporary water provisions until such time as the irrigation system is operational.
- All wire guys and/or fabric straps shall be flagged with fluorescent colored tape.
- Mulching:
 - All landscape areas not covered by sod shall be covered by a minimum 3-inch layer of mulch.
 - A mulch ring with a minimum radius of 24 inches (48 inch diameter), is required around all newly installed trees and palms. Existing soil may be re-used for backfilling if debris is removed and organic content is sufficient or soil is augmented with topsoil. Construction access shall be restricted from the landscape area after excavation and backfill is complete.
 - No mulch shall be placed touching or within six inches of the trunk of a tree or palm.
- All newly landscaped areas shall be excavated down to a depth of 24 inches below final grade and back filled with clean debris-free soil.
- All landscape areas shall be finish graded such that they are a minimum of 3.5 inches below surrounding paved surfaces so as not to impede the flow of drainage into landscaped areas and to allow for a 3-inch mulch layer.

Moyer, RLA
 Architecture
 9609
 A0000982

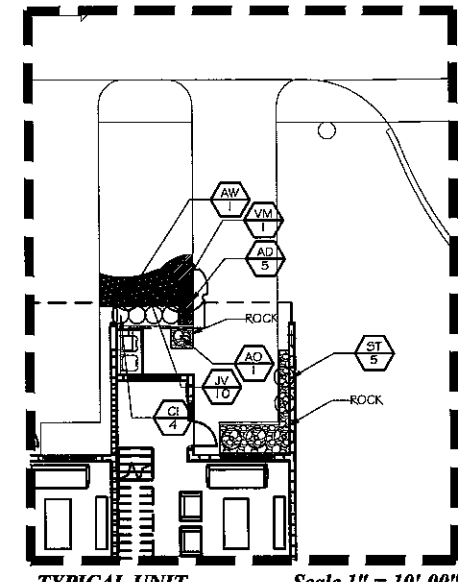
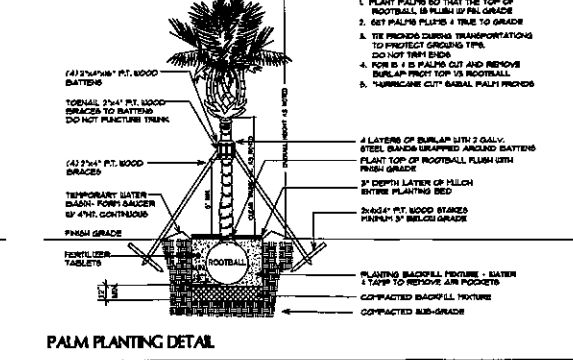
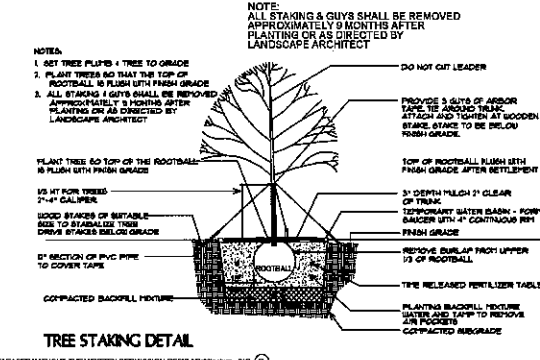
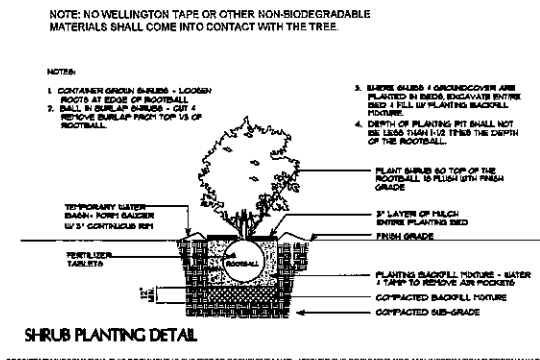
REVISIONS
 Revisions 3-28-14
 Revisions 9-26-14
 Revisions 5-6-15



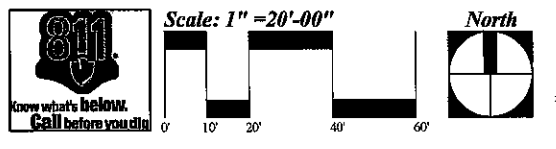
Sym	Qty	Botanical / Common Name	Size	Native
BA	5	Bulnesia arborea / Varwood	12' Ht. x 5' Spr., 2" Cal	No
BS	7	Bursera simaruba / Gumbo Limbo	12' Ht. x 5' Spr., 2" Cal	Yes
LI	13	Lagerstroemia indica 'Tuscarora' / Crape Myrtle	12' Ht. x 5' Spr., 2" Cal	No
MF	3	Myrcianthes fragrans / Simpson Stopper	8' Ht. x 3' Spr., 1.5" Cal.	Yes
QV	17	Quercus virginiana / Live Oak	12' Ht. x 5' Spr., 2" Cal	Yes
SG	7	Simaruba glauca / Paradise Tree	12' Ht. x 5' Spr., 2" Cal	Yes
CE	30	Conocarpus erectus / Green Buttonwood	24" x 24", 24" O.C.	Yes
CI	193	Chrysobalanus icaco / Cocoplum	24" x 24", 24" O.C.	Yes
HP	115	Hamelia patens 'Compacta' / Firebush	24" x 24", 24" O.C.	Yes
IV	132	Ilex vomitoria 'Stokes Dwarf' / Dwarf Ilex	12" x 12", 18" O.C.	Yes
MU	56	Muhlenbergia capillaris / Muhly Grass	18" x 18", 24" O.C.	Yes
MY	220	Myrcianthes fragrans / Simpson Stopper	24" x 24", 24" O.C.	Yes
NE	222	Nepenthes exaltata / Boston Fern	12" x 12", 18" O.C.	No
PM	40	Podocarpus nectorahyllus / Podocarpus	24" x 24", 24" O.C.	No
PN	75	Psychotria nervosa / Wild Coffee	24" x 24", 24" O.C.	Yes
Sod		St. Augustine		
Mulch		Shredded Melaleuca or Eucalyptus		

Landscape Code Requirements				
Description	Application	Calculation	Qty. Required	Qty. Provided
Right of Way Trees	1 tree/ 30 lf	212/30	7	7
Open Space Trees	1 tree/ 3000 sf	46,689 sf	16	16

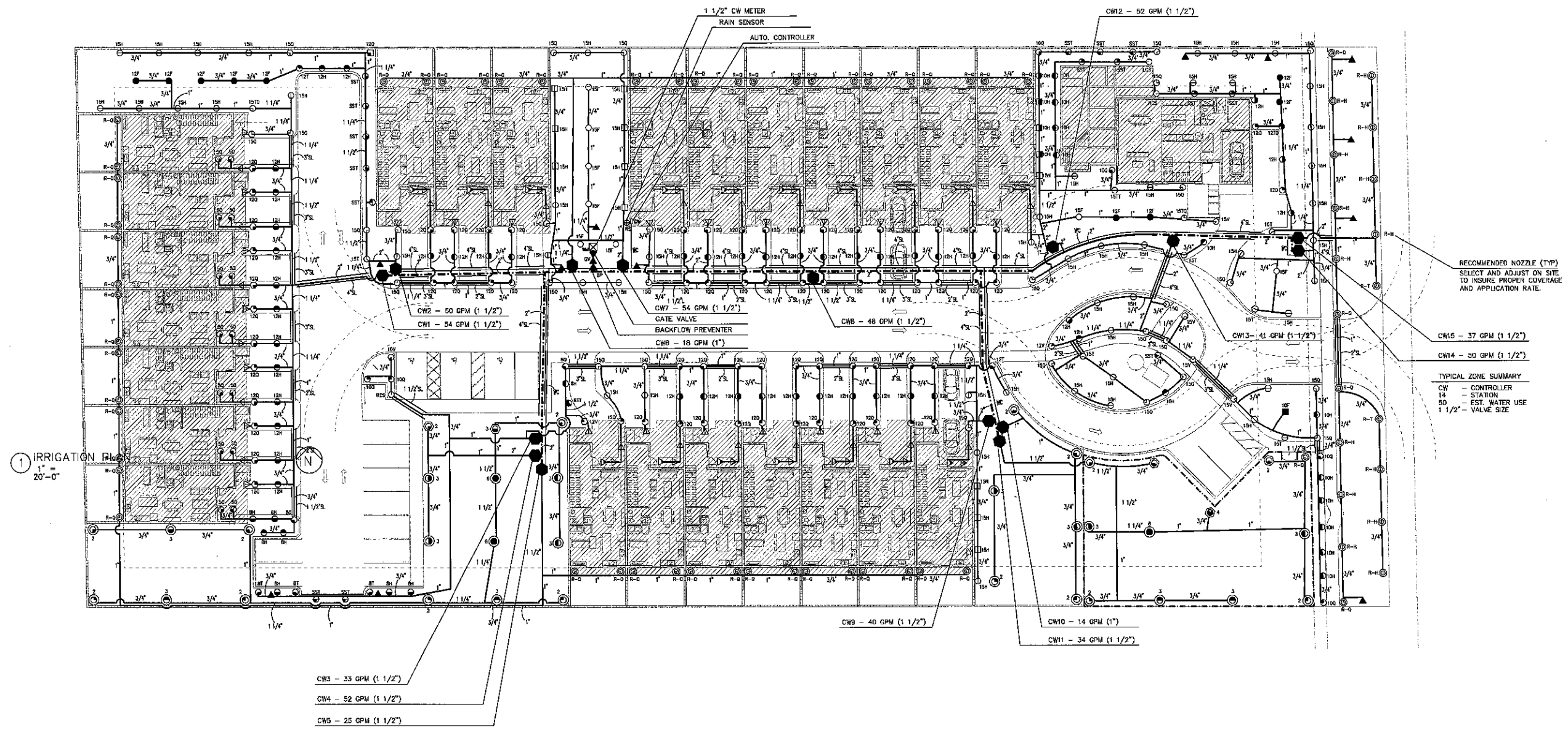
- NOTES:
 1. SOIL AND IRRIGATE TO EDGE OF ROAD.
 2. TREE REMOVAL PERMIT IS REQUIRED BY CITY PRIOR TO REMOVAL OF ANY TREES ON SITE.
 3. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW WITH APPROPRIATE SHRUB MATERIAL.
 4. ALL PROPOSED TREES SHALL BE PLANTED A MINIMUM 15' FROM LIGHT POLES.



Sym	Qty	Botanical / Common Name	Size	Native
VM	1	Veitchia montgomeryana / Montgomery Palm	12'-15' OA Ht. Triple Trunk	No
Option				
CG	1	Casalpinia grandiflora / Birdalvell Tree	12' Ht. x 5' Spr., 2" Cal.	No
AD	5	Asparagus densiflorus 'Meyersii' / Foxtail Fern	12" x 12", 24" O.C.	No
AO	1	Alcantarea odorata / Silver Bromeliad	18" x 18"	No
AW	1	Acalypha wilkesiana / Copperleaf	24" x 24"	No
CI	4	Chrysobalanus icaco / Cocoplum	24" x 24", 24" O.C.	Yes
IV	10	Jasminum volubile / Wax Jasmine	18" x 18", 24" O.C.	No
ST	3	Sansevieria trifasciata 'Leuvenhii' / Snake Plant	14" x 12"	No
Rock		Black Mexican Beach Pebbles	2-3 Inches	
Sod		St. Augustine		
Mulch		Shredded Melaleuca or Eucalyptus		



REVISIONS



NEW TOWNHOUSES FOR:
DANIA OAKS TOWNHOUSES
 5461 SW 40TH
 AVENUE

- REVIEW SET
 - PRELIMINARY
 - NOT FOR CONSTRUCTION
 - DRY RUN PERMIT SET
 - PERMIT SET
 - BID SET
 - CONSTRUCTION SET
- SUBMITTAL DATE: XX-XX-XX

DRAWN BY:
 Author

CHECKED BY:
 ARI
 SKLAR

IRRIGATION PLAN

IR-1

PROJECT 12-002

DATE 07-03-14

LEGEND

SYMBOL	MODEL NO.	DESCRIPTION	* QTY	QUANTITY
▲	514-23	TORO FLOOD BUBBLER	10	10
▲	5705-SB-90	TORO STREAM BUBBLER	18	18
▲	5705-SB-25-180	TORO STREAM BUBBLER	65	65
■	5705-XF-10H	TORO SHRUB SPRINKLER/SPRAY NOZZLE	03	03
■	5705-XF-8H	TORO SHRUB SPRINKLER/SPRAY NOZZLE	01	01
■	5705-XF-12H	TORO SHRUB SPRINKLER/SPRAY NOZZLE	01	01
■	5705-XF-15H	TORO SHRUB SPRINKLER/SPRAY NOZZLE	11	11
○	5702-6P-XF-50	TORO 6" POP-UP SPRINKLER/SPRAY NOZZLE	14	14
○	5702-6P-XF-80	TORO 6" POP-UP SPRINKLER/SPRAY NOZZLE	01	01
○	5702-6P-XF-8T	TORO 6" POP-UP SPRINKLER/SPRAY NOZZLE	02	02
○	5702-6P-XF-10V	TORO 6" POP-UP SPRINKLER/SPRAY NOZZLE	02	02
○	5702-6P-XF-10H	TORO 6" POP-UP SPRINKLER/SPRAY NOZZLE	14	14
○	5702-6P-XF-12V	TORO 6" POP-UP SPRINKLER/SPRAY NOZZLE	01	01
○	5702-6P-XF-15V	TORO 6" POP-UP SPRINKLER/SPRAY NOZZLE	14	14
○	5702-6P-XF-12T	TORO 6" POP-UP SPRINKLER/SPRAY NOZZLE	02	02
○	5702-6P-XF-12H	TORO 6" POP-UP SPRINKLER/SPRAY NOZZLE	44	44
○	5702-6P-XF-12D	TORO 6" POP-UP SPRINKLER/SPRAY NOZZLE	02	02
○	5702-6P-XF-12F	TORO 6" POP-UP SPRINKLER/SPRAY NOZZLE	08	08
○	5702-6P-XF-12S	TORO 6" POP-UP SPRINKLER/SPRAY NOZZLE	01	01
○	5702-6P-XF-4SST	TORO 6" POP-UP SPRINKLER/SPRAY NOZZLE	05	05
○	5702-6P-XF-15V	TORO 6" POP-UP SPRINKLER/SPRAY NOZZLE	01	01
○	5702-6P-XF-15V	TORO 6" POP-UP SPRINKLER/SPRAY NOZZLE	24	24
○	5702-6P-XF-15T	TORO 6" POP-UP SPRINKLER/SPRAY NOZZLE	05	05
○	5702-6P-XF-15H	TORO 6" POP-UP SPRINKLER/SPRAY NOZZLE	46	46
○	5702-6P-XF-15T	TORO 6" POP-UP SPRINKLER/SPRAY NOZZLE	02	02
○	5702-6P-XF-15H	TORO 6" POP-UP SPRINKLER/SPRAY NOZZLE	02	02
○	5702-12P-XF-12V	TORO 12" POP-UP SPRINKLER/SPRAY NOZZLE	01	01
○	5702-12P-XF-12D	TORO 12" POP-UP SPRINKLER/SPRAY NOZZLE	40	40
○	5702-12P-XF-15V	TORO 12" POP-UP SPRINKLER/SPRAY NOZZLE	01	01
○	5702-12P-XF-15D	TORO 12" POP-UP SPRINKLER/SPRAY NOZZLE	07	07
○	5702-12P-XF-15T	TORO 12" POP-UP SPRINKLER/SPRAY NOZZLE	01	01
○	5702-12P-XF-15H	TORO 12" POP-UP SPRINKLER/SPRAY NOZZLE	03	03
○	5702-6P-XF-PRN-TA	TORO 6" POP-UP SPRINKLER/ROTOR NOZZLE	69	69
○	TSP-20	TORO 5" POP-UP ROTOR	14	14
○	TSP-30	TORO 5" POP-UP ROTOR	13	13
○	TSP-60	TORO 5" POP-UP ROTOR	03	03
○	T12P-20	TORO 12" POP-UP ROTOR	02	02
○	T12P-30	TORO 12" POP-UP ROTOR	02	02
○	T12P-40	TORO 12" POP-UP ROTOR	01	01
○	P220 SERIES	TORO 24 VAC SOLENOID VALVE	1	1
○	EVO-40D	TORO AUTO. CONTROLLER	01	01
○	EM00-12	TORO 12 STATION EXPANSION MODULE	01	01
○	TR5	TORO RAIN SENSOR	01	01
○	765 (2')	FEBCO PRESSURE VACUUM BREAKER	01	01
○		1/2" AND COMMON #14 AWG CONTROL WIRE	AS REQUIRED	
○		SCH 40 GALVANIZED STEEL	AS REQUIRED	
○		SCH 40 PVC	AS REQUIRED	
○		MAIN LINE SLEEVES		
○		SPRINKLER RISERS		
○		PVC FITTINGS		
○		WIRE CONDUIT		
○		SDR 21, CLASS 200 PVC LATERALS	AS REQUIRED	
○		GATE VALVE (TO LINE SIZE)	01	
○		VALVE BOX	16	
○		GROUNDING LOCATION	01	
○		CITY WATER METER	01	

NOTE: ABOVE QUANTITIES ARE FOR COMPARISON ONLY. CONTRACTOR SHALL VERIFY PRIOR TO SUBMITTING BID.

ZONE SUMMARY CHART

STA NO.	VALVE	SPRINKLER TYPE	VALVE SIZE	WATER DEMAND	RUN TIME
1	CW1	SPRAY	1 1/2"	64 GPM	40 MIN/WK
2	CW2	SPRAY	1 1/2"	50 GPM	40 MIN/WK
3	CW3	SPRAY	1 1/2"	33 GPM	40 MIN/WK
4	CW4	ROTOR	1 1/2"	52 GPM	120 MIN/WK
5	CW5	MP ROTOR	1"	25 GPM	120 MIN/WK
6	CW6	MP ROTOR	1"	18 GPM	120 MIN/WK
7	CW7	SPRAY	1 1/2"	54 GPM	40 MIN/WK
8	CW8	SPRAY	1 1/2"	48 GPM	40 MIN/WK
9	CW9	SPRAY	1 1/2"	40 GPM	40 MIN/WK
10	CW10	ROTOR	1 1/2"	14 GPM	120 MIN/WK
11	CW11	ROTOR	1 1/2"	34 GPM	120 MIN/WK
12	CW12	SPRAY	1 1/2"	52 GPM	40 MIN/WK
13	CW13	SPRAY	1 1/2"	41 GPM	40 MIN/WK
14	CW14	SPRAY	1 1/2"	50 GPM	40 MIN/WK
15	CW15	MP ROTOR	1 1/2"	37 GPM	120 MIN/WK
16		SPARE			

*TO APPLY 1.0 IN/WK.
 NOTE: TO REDUCE THE DURATION OF THE IRRIGATION CYCLE, VALVE CW9 AND CW6 MAY BE SET TO OPERATE SIMULTANEOUSLY AND VALVES CW10 AND CW11 MAY BE SET TO OPERATE SIMULTANEOUSLY.

IRRIGATION NOTES & SPECIFICATIONS

AUTOMATIC IRRIGATION SYSTEM
 WATER DEMAND ZONE REFER TO PLAN
 WATER SOURCE SYSTEM 1 1/2" CITY WATER METER
 PRESSURE REQUIRED 60 PSI

GENERAL
 IRRIGATION SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES, CONTRACT DRAWINGS, CONTRACT SPECIFICATIONS, AND APPENDIX "F" OF THE FLORIDA BUILDING CODE.

IRRIGATION DESIGN BASED ON "LANDSCAPE PLAN" DATED FEBRUARY 26, 2014. CONTRACTOR SHALL REFER TO THIS PLAN TO COORDINATE SPRINKLER LOCATIONS AND PIPE ROUTING WITH NEW AND EXISTING PLANT LOCATIONS.

THIS PLAN SHALL BE USED AS A GUIDE ONLY. IRRIGATION SHALL BE INSTALLED TO MATCH ON SITE CONDITIONS AND TO OVERCOME THE INHERENT INACCURACIES THAT RESULT WHEN DESIGNING FROM BASE PLANS SCALED AT 1" = 20'.

THE WATER SOURCE SHALL BE 1 1/2" CITY WATER METER. BACKFLOW PREVENTION SHALL BE INSTALLED TO MEET LOCAL CODE REQUIREMENTS FOR CROSS CONNECTION CONTROL. A PRESSURE VACUUM BREAKER SHALL BE INSTALLED. REFER TO CIVIL ENGINEERING PLANS FOR ADDITIONAL INFORMATION REGARDING THE METER.

THIS IRRIGATION HAS BEEN DESIGNED AS A TYPICAL BLOCK VALVE TYPE USING TORO SPRINKLERS, IN-LINE VALVES AND CONTROL SYSTEM. A RAIN SENSOR SHALL BE INSTALLED TO CONSERVE WATER.

IRRIGATION SHALL BE INSTALLED AND MAINTAINED TO MINIMIZE UNDESIRABLE OVERTHROW ONTO PAVEMENT, SIDEWALKS, AND BUILDINGS.

CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH SITE CONDITIONS, AND SHALL REFER TO THE PLANS FOR ADDITIONAL INFORMATION.

TO ENSURE PROPER OPERATION, SOURCE SIZE, VALVE SIZES, ZONE CAPACITIES, SPRINKLER SPACING, PIPE AND WIRE SIZES, AND INSTALLATION NOTES AND DETAILS SHALL BE FOLLOWED AS SHOWN.

PIPING

PIPE ROUTING IS SCHEMATIC ONLY AND SHALL BE ADJUSTED FOR ON SITE CONDITIONS.
 PIPE SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES, SECTION "F" OF THE FLORIDA BUILDING CODE, AND PIPE MANUFACTURER'S INSTRUCTIONS.

PIPE ROUTED UNDER HARDCAPED AREAS SHALL BE SLEEVED IN SCH 40 PVC. EACH SLEEVE SHALL BE: (1) BURIED TO A MINIMUM DEPTH OF 24", (2) TWO PIPE SIZES LARGER THAN CARRIER PIPE, AND (3) EXTENDED 3' BEYOND HARDCAPED AREA ON EACH END. CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING SLEEVES.

PIPE INSTALLED ABOVE GRADE AT THE BACKFLOW PREVENTER SHALL BE SCH 40 GALVANIZED STEEL. ALL OTHER PIPE AND FITTINGS SHALL BE TYPE 1120 PVC. MAIN LINE AND FITTINGS SHALL BE SCH 40. LATERALS SHALL BE SDR 21, CLASS 200.

PIPE SIZED TO LIMIT FLOW VELOCITIES TO 5 FEET/SECOND AND TO LIMIT FRICTION LOSS IN THE PIPING NETWORK.

PIPE SHALL BE INSTALLED AT SUFFICIENT DEPTH BELOW GROUND TO PROTECT IT FROM HAZARD SUCH AS VEHICULAR TRAFFIC OR ROUTINE OCCURRENCES WHICH OCCUR IN THE NORMAL USE AND MAINTENANCE OF THE PROPERTY. DEPTHS OF COVER SHALL MEET OR EXCEED SCS CODE 430-50. REFER TO THE APPLICABLE DETAIL FOR ADDITIONAL INFORMATION.

BACKFILL SHALL BE OF SUITABLE MATERIAL, FREE OF ROCKS, STONES, AND OTHER DEBRIS THAT WOULD DAMAGE IRRIGATION SYSTEM COMPONENTS.

A GATE VALVE SHALL BE INSTALLED FOR ISOLATION. THIS VALVE SHALL BE INSTALLED PER BOX TO PROMOTE DRAINAGE.

THE BACKFLOW PREVENTER SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES AND SHALL BE LOCATED TO BE CONCEALED FROM VIEW.

SPRINKLERS

SPRINKLER LOCATIONS ARE SCHEMATIC ONLY AND SHALL BE ADJUSTED FOR LANDSCAPING, FENCES, SITE LIGHTING, PREVAILING WIND, HOLDINGS, ETC., TO ENSURE PROPER COVERAGE WITH MINIMAL UNDESIRABLE OVERTHROW. A PRIME OBJECTIVE SHALL BE TO ELIMINATE OVERTHROW ONTO PAVEMENT, SIDEWALKS, AND THE RESIDENCES.

SPRAY HEADS SHALL BE TORO 570 SERIES, SIX INCH POP-UP TYPE SHALL BE INSTALLED IN AREAS LANDSCAPED WITH SOIL AND MULCH, TWELVE INCH POP-UP TYPE SHALL BE INSTALLED IN AREAS LANDSCAPED WITH GROUND COVER AND LOW SHRUBS. SHRUB HEADS SHALL BE INSTALLED IN AREAS LANDSCAPED WITH TALL SHRUBS, AND BUBBLERS SHALL BE INSTALLED IN NARROW LANDSCAPED AREAS AND AT SELECTED TREES.

POP-UP TYPE LOCATED IN SOIL, MULCH, AND GROUND COVERS SHALL BE INSTALLED ON FLEXIBLE SWING JOINTS CONSISTING OF THICKWALLED POLY PIPE AND 1/2" INSERT ELBOWS.

POP-UP TYPE LOCATED IN SHRUBS SHALL BE INSTALLED ON 1/2" SCH 40 PVC RISERS TO A HEIGHT SO SPRINKLERS ARE CONCEALED FROM VIEW EXCEPT DURING USE.

SHRUB TYPE AND BUBBLERS SHALL BE INSTALLED ON 1/2" SCH 40 PVC RISERS. SHRUB HEADS SHALL BE INSTALLED A STANDARD HEIGHT OF 6" ABOVE PLANTS EXCEPT AS NOTED AND SHALL BE INSTALLED WITHIN PLANTS TO BE CONCEALED FROM VIEW. BUBBLERS SHALL BE INSTALLED AT THE BASE OF PLANTS FOR LOW LEVEL WATERING. RISERS SHALL BE PAINTED FLAT BLACK TO BE LESS VISIBLE.

EACH SPRINKLER SHALL BE EQUIPPED WITH THE APPROPRIATE SPRAY OR PRECISION ROTOR NOZZLE AS NOTED AND SHALL HAVE THE X-FLOW FEATURE.

ROTOR SPRINKLERS SHALL BE TORO TS SERIES WHICH SHALL BE INSTALLED ON FLEXIBLE SWING JOINTS CONSISTING OF THICKWALLED POLY PIPE AND 3/4" INSERT ELBOWS.

ADJUSTMENT FEATURES OF SPRINKLERS SPECIFIED SHALL BE UTILIZED TO ENSURE PROPER COVERAGE WITH MINIMAL UNDESIRABLE OVERTHROW. LOW ANGLE, FLAT SPRAY, AND ADJUSTABLE ARC NOZZLES SHALL BE USED TO MINIMIZE OVERTHROW.

SPRINKLERS LOCATED ADJACENT TO HARDCAPED AREAS SHALL BE INSTALLED AWAY FROM HARDCAPED AREAS TO MINIMIZE OVERTHROW AND THE CHANCE OF DAMAGE BY VEHICLES, PEDESTRIANS, AND LAWN MAINTENANCE PERSONNEL AS A GENERAL RULE, 6" POP-UP SPRAY HEADS SHALL BE INSTALLED IN 4" SHRUB HEADS AND 12" POP-UP SPRAY HEADS SHALL BE INSTALLED IN 12" AND ROTOR SHALL BE INSTALLED IN 6".

CONTROL SYSTEM

CONTROL SYSTEM SHALL BE A TORO EVOLUTION SERIES ELECTRIC TYPE. ONE 16 STATION CONTROLLER SHALL ACTIVATE 15 IN-LINE VALVES. A RAIN SENSOR SHALL BE INSTALLED TO CONSERVE WATER.

CONTROLLER SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES AND MANUFACTURER'S INSTRUCTIONS. PROPER GROUNDING EQUIPMENT SHALL BE PROVIDED.

CONTROLLER LOCATION SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE. A 110 VAC ELECTRIC SOURCE IS REQUIRED.

CONTROL LINES FROM AUTOMATIC CONTROLLER TO IN-LINE AUTOMATIC VALVES SHALL BE #14 AWG THIN TYPE WHICH SHALL BE:
 (1) INSTALLED IN ACCORDANCE WITH LOCAL CODES, (2) INSTALLED IN SCH 40 PVC WIRE CONDUIT, (3) BURIED TO A MINIMUM DEPTH OF 15", (4) COLORED CODED TO FACILITATE TROUBLESHOOTING, AND (5) SPLICED MOSTLY AT VALVE LOCATIONS. SPLICES SHALL BE MADE WATERPROOF USING APPROVED METHODS. SPARE WIRES SHALL BE ROUTED FROM THE CONTROLLER IN ALL DIRECTIONS TO THE FARTHEST VALVES CONTROLLED.

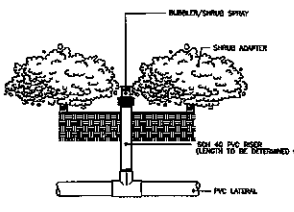
AN INDIVIDUAL CONTROL WIRE SHALL BE ROUTED TO EACH VALVE AND VALVES WHICH OPERATE SIMULTANEOUSLY SHALL BE TIED TOGETHER AT THE CONTROLLER.

AUTOMATIC VALVE LOCATIONS ARE SCHEMATIC ONLY AND SHALL BE ADJUSTED FOR ON SITE CONDITIONS. EACH VALVE SHALL BE INSTALLED IN A VALVE BOX. A MINIMUM OF ONE CUBIC FOOT OF GRAVEL SHALL BE PROVIDED PER BOX TO PROMOTE DRAINAGE.

THE RAIN SENSOR SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

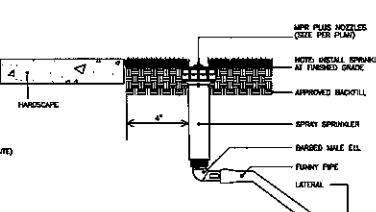
TIMING AND PRECIPITATION

TIMING OF EACH STATION SHALL BE SET IN THE FIELD TO MATCH LOCAL REQUIREMENTS. REFER TO ZONE SUMMARY CHART FOR RECOMMENDED RUN TIMES TO APPLY 1.0 INCHES/WEK.



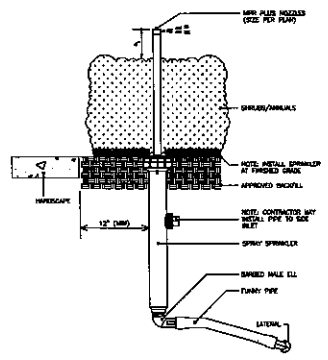
SPRINKLER DETAIL (NTS)

BUBBLER/SHRUB SPRAY INSTALLED AT THE BASE OF PLANTS FOR LOW LEVEL WATERING



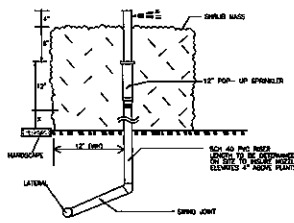
SPRINKLER DETAIL (NTS)

POP-UP SPRAY ON POLY PIPE SWING JOINT LOCATED IN SOD OR MULCH



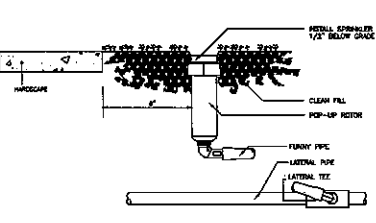
SPRINKLER DETAIL (NTS)

12" POP-UP SPRAY ON POLY PIPE SWING JOINT LOCATED IN PLANTS MAINTAINED TO A MAXIMUM HEIGHT OF 8"



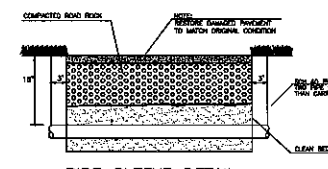
SPRINKLER DETAIL (NTS)

POP-UP ROTOR ON PVC SWING JOINT WITH RISER LOCATED IN PLANT MASS MAINTAINED TO A MINIMUM HEIGHT OF 24"



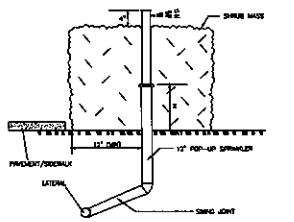
SPRINKLER DETAIL (NTS)

POP-UP ROTOR ON POLY PIPE SWING JOINT LOCATED IN SOD OR MULCH



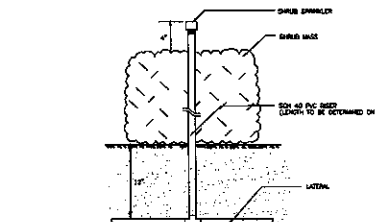
PIPE SLEEVE DETAIL

NOT TO SCALE



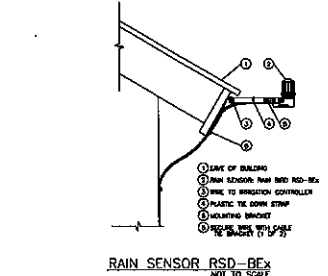
SPRINKLER DETAIL (NTS)

12" POP-UP ON PVC SWING JOINT LOCATED IN PLANT MASS MAINTAINED TO A MAXIMUM HEIGHT OF 18"



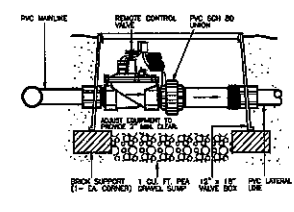
SPRINKLER DETAIL (NTS)

POP-UP ROTOR ON POLY PIPE SWING JOINT LOCATED IN PLANT MASS



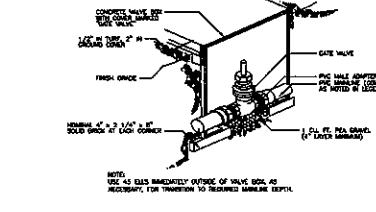
RAIN SENSOR RSD-BEX

NOT TO SCALE



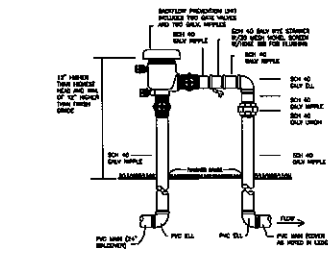
REMOTE CONTROL VALVE DETAIL

NOT TO SCALE



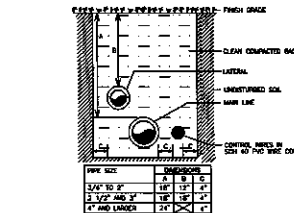
GATE VALVE DETAIL

NOT TO SCALE



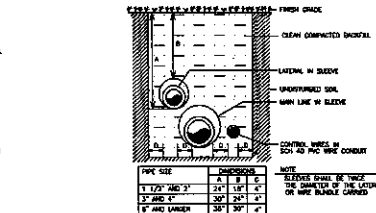
PRESSURE VACUUM BREAKER

NOT TO SCALE



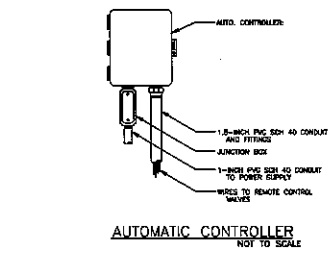
TRENCHING DETAIL (NTS)

NON-TRAFFIC AREAS



TRENCHING DETAIL (NTS)

VEHICULAR TRAFFIC AREAS



AUTOMATIC CONTROLLER

NOT TO SCALE

NEW TOWNHOUSES FOR:
DANIA OAKS TOWNHOMES
 5461 SW 40TH AVENUE

- REVIEW SET
- PRELIMINARY
- NOT FOR CONSTRUCTION
- DRY RUN PERMIT SET
- PERMIT SET
- BID SET
- CONSTRUCTION SET

SUBMITTAL DATE: XX-XX-XX
 DRAWN BY:
 Author
 CHECKED BY:
 ARI SKLAR

IRRIGATION LEGEND, NOTES, AND DETAILS

IR-2

PROJECT 12-002

DATE 07-03-14

35.00' (P)

N 87°49'48" E 477.55' (C)

N 03°03'39" W 212.52'

24.00'

S 87°49'48" W 477.55' (C)

SW 40TH AVENUE

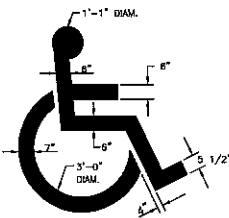
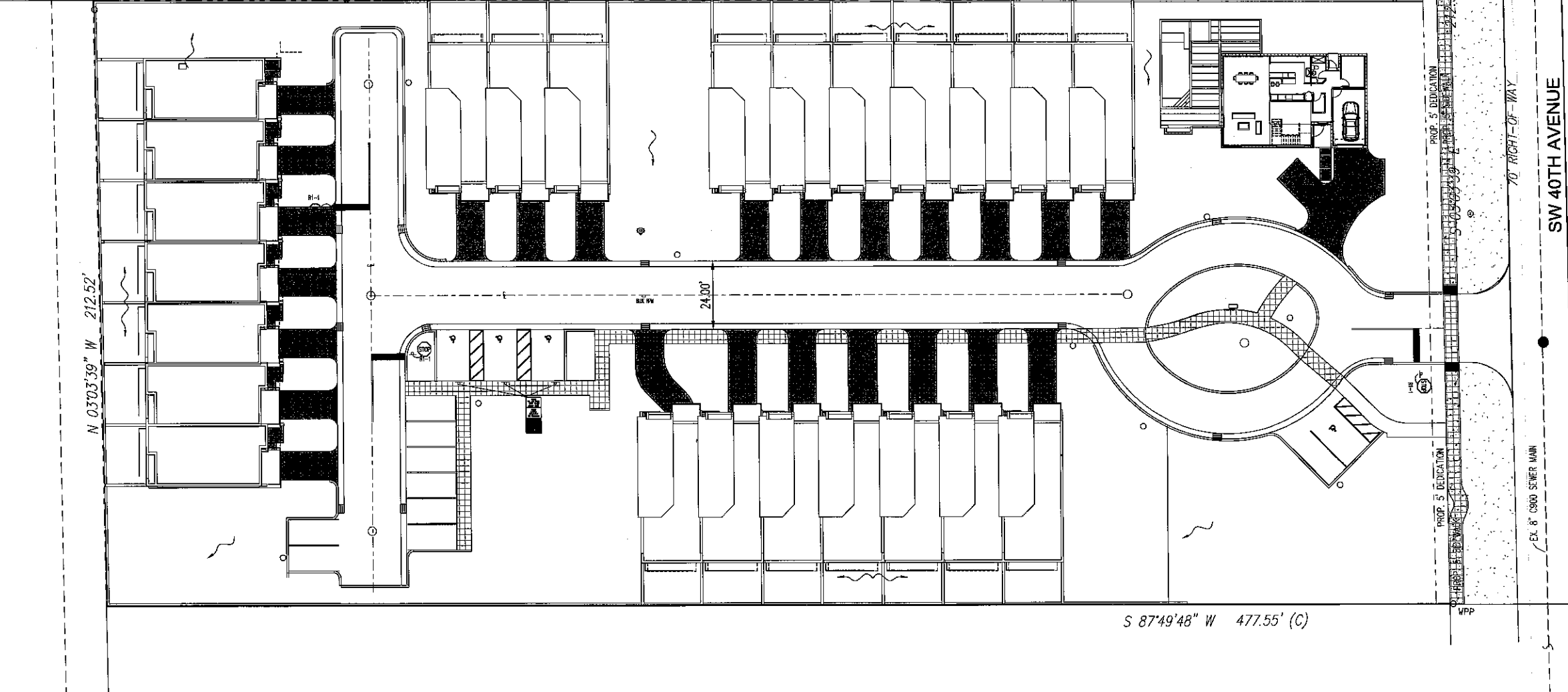
70' RIGHT-OF-WAY

EX. 8" CS900 SENER MARK

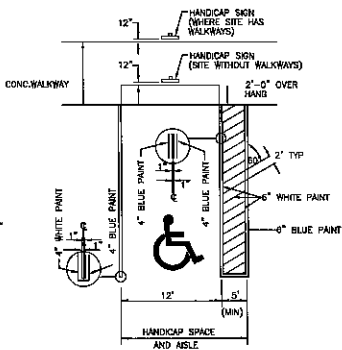
PROP. 5' DEDICATION

PROP. 5' DEDICATION

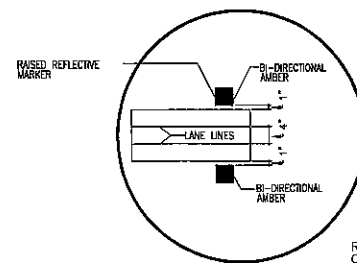
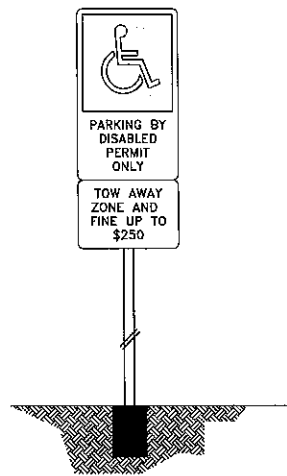
WPP



SYMBOL PAINT DETAIL
N.T.S.



TYPICAL HANDICAP PARKING
N.T.S.



DOUBLE YELLOW



R1-1
STOP SIGN DETAIL

RAISED PAVEMENT MARKERS SHALL BE SET ONE (1) INCH OUTSIDE OF LINE.

NOTES:

- 1) CONTRACTOR SHALL USE THERMOPLASTIC FOR MARKINGS UNLESS OTHERWISE SPECIFIED ON PLANS.
- 2) PAVEMENT MARKINGS SHALL CONFORM TO BROWARD COUNTY TRAFFIC ENGINEERING STANDARDS LATEST EDITION, THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" AND THE FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS.
- 3) ALL SIGNS SHALL BE HIGH INTENSITY.



GATOR ENGINEERING AND SURVEYING
1390 TEMPLE STREET
COOPER CITY, FL 33639
TEL: (850) 484-6905 FAX: (850) 484-6904
CERTIFICATE OF AUTHORIZATION NUMBER 30230

SCALE

DATE	DESIGNED BY	FL. P.E. NO.
08-23-2014	R.B.J.	38550

SITE IMPROVEMENTS
DANIA OAKS
5461 SW 40TH AVENUE
DANIA BEACH, FLORIDA

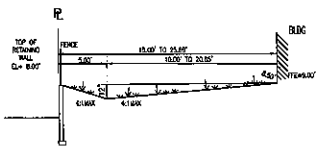
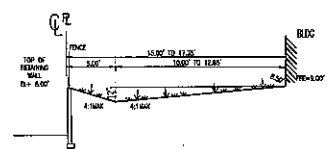
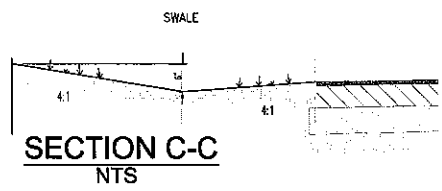
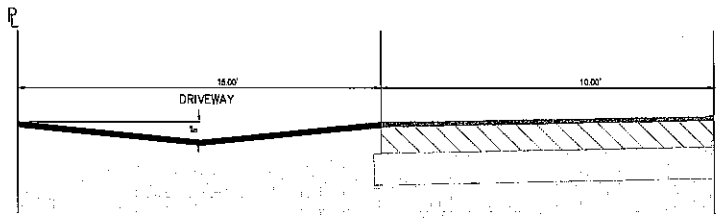
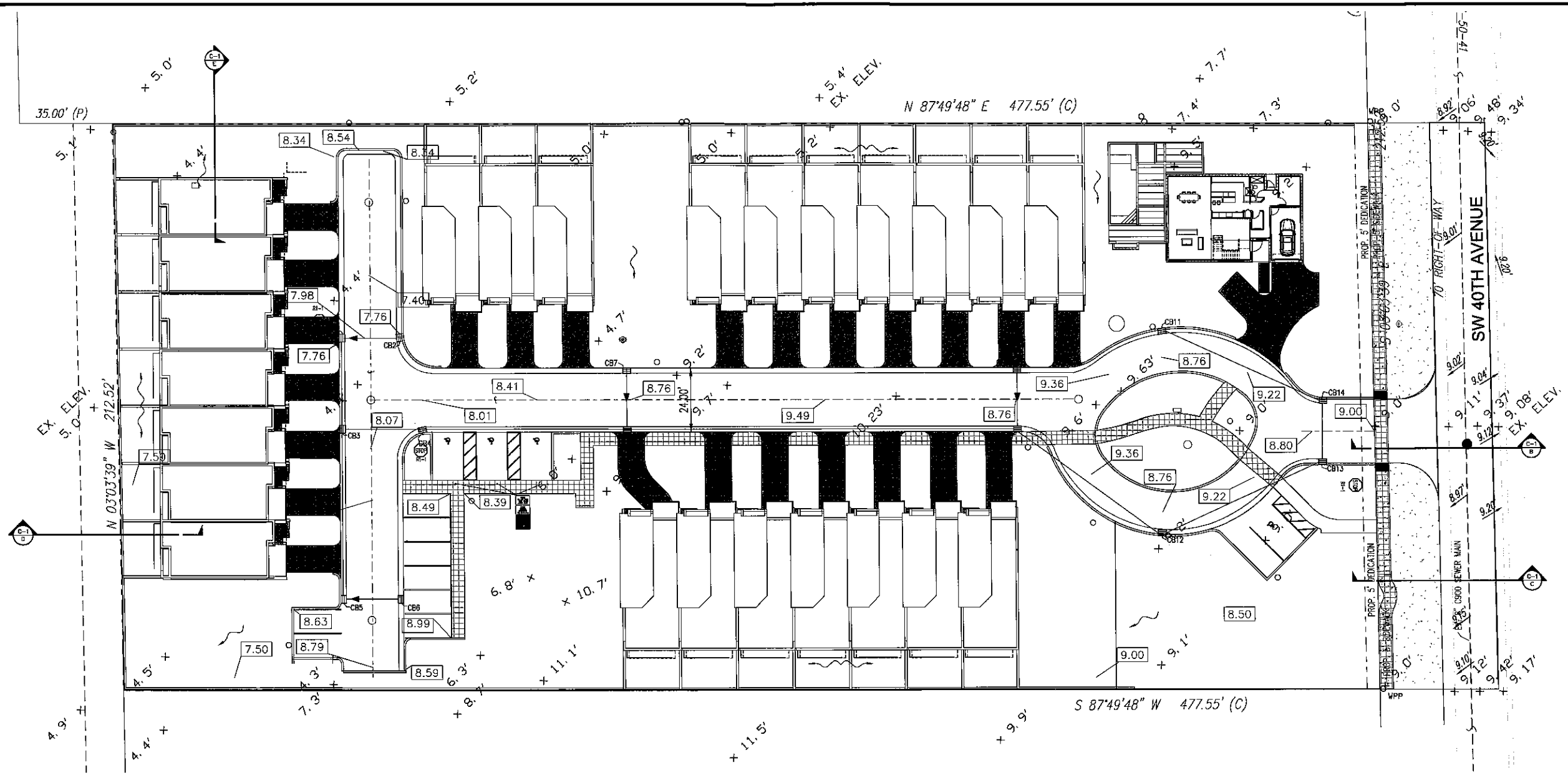
FOR SITE PLAN APPROVAL ONLY

REVISIONS	DATE	DESCRIPTION

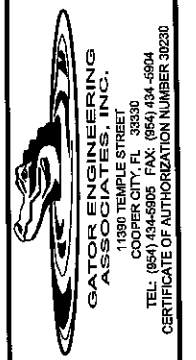
GEC PROJECT NO. : 12011
DATE : 07-23-2014
SCALE : AS SHOWN
DESIGNED BY : R.B.J.
DRAWN BY : L.S.
CHECKED BY : R.B.J.
APPROVED BY : R.B.J.

SHEET TITLE
SIGNING & MARKING PLAN

C3 OF 6



- LEGEND**
- - - - - PROPERTY LINE
 - - - - - PROP. SEWER
 - - - - - EXIST. WATER
 - - - - - PROP. WATER
 - - - - - DRAINAGE INLET
 - ~ FLOW LINE
 - PROPOSED 5/8" WATER METER
 - ⊕ FIRE HYDRANT ASSEMBLY
 - PROP. SEWER MANHOLE
 - EXIST. SEWER MANHOLE
 - CLEAN OUT
 - 8.00 PROP. GRADE
 - ▨ SIDEWALK



GATOR ENGINEERING & DESIGN, INC.
 11800 TEMPLE STREET
 COOPER CITY, FL 33530
 TEL: (854) 434-6805 FAX: (854) 434-6804
 CERTIFICATE OF AUTHORIZATION NUMBER 30230

SEAL
 DANA ROSS-JACKSON, P.E.
 FL. P.E. NO. 38550

SITE IMPROVEMENTS
DANIA OAKS
 5461 SW 40TH AVENUE
 DANIA BEACH, FLORIDA

FOR SITE PLAN APPROVAL ONLY

NO.	DATE	REVISIONS

SEC PROJECT NO. : 12011
 DATE : 07-23-2014
 SCALE : AS SHOWN
 DESIGNED BY : R.B.J.
 DRAWN BY : L.S.
 CHECKED BY : R.B.J.
 APPROVED BY : R.B.J.

SHEET TITLE
P, G & D
PLAN
 C1 of 6

